

AMERICAN FORK CITY COUNCIL
FEBRUARY 8, 2022
*AMENDED - PUBLIC HEARING, REGULAR SESSION AGENDA

Notice of Electronic Meeting

One or more City Council members may be physically absent from this meeting but may participate electronically.

PUBLIC HEARING

The American Fork City Council will hold a public hearing in conjunction with the regular session on Tuesday, February 8, 2022, in the American Fork City Hall, 31 North Church Street, commencing at 7:00 p.m. The agenda shall be as follows:

- Receive public comment on the vacation of a portion of a right-of-way on 1100 South between 9 West and 42 East.

REGULAR SESSION

1. Pledge of Allegiance; Invocation by Council Member Hunter; roll call.
2. Presentation of the Life Saving Award to Officer Ron Bibeau and Officer Phil Valadez.
3. Twenty-minute public comment period - limited to two minutes per person.
4. City Administrator's Report
5. Council Reports
6. Mayor's Report

COMMON CONSENT AGENDA

(*Common Consent* is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda.)

1. Approval of the January 4, 2022, work session minutes.
2. Approval of the authorization to issue a Notice of Acceptance for the 900 WEST PHASES 1.2A, 1.2B construction of public improvements located at 900 West 250-300 South.
3. Ratification of city payments (January 19, 2022, to February 1, 2022) and approval of purchase requests over \$50,000.

ACTION ITEMS

- *1. Review and action on a resolution of the American Fork City Council in opposition to the development of Utah Lake.
2. Review and action on the appointment of Stan Colby to the Senior Citizens Board (term ending 2025) and the reappointment of Christine Anderson to the Planning Commission (term ending 2028).
3. Review and action on approval of a beer/alcoholic beverage license for H&H G5 LLC, dba Gourmandise, located at 215 East State Road.

4. Review and action on subdivisions, commercial projects, condominiums, and PUD's including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded.
 - a. Review and action on an ordinance approving the site plan for Roderick Catalyst Business Park Building 4 located in the area of 346 East 1600 South, in the PI-1 Planned Industrial zone.
 - b. Review and action on an ordinance approving the site plan for Roderick Catalyst Business Park Building 5 located in the area of 268 East 1600 South, in the PI-1 Planned Industrial zone
5. Review and action on a resolution establishing the term end date for boards and/or committees.
6. Adjournment.

Dated this 7th day of February 2022.



Terilyn Lurker
City Recorder

- In accordance with the Americans with Disabilities Act, the City of American Fork will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at 801-763-3000 at least 48 hours in advance of the meeting.
- The order of agenda items may be changed to accommodate the needs of the City Council, staff, and the public.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Public Works

Director Approval Scott Sensanbaugher

AGENDA ITEM (Common Consent Agenda) - Consideration regarding authorization to issue a Notice of Acceptance for the 900 WEST PHASES 1.2A, 1.2B construction of public improvements located at 900 West 250-300 South.

SUMMARY RECOMMENDATION The City Engineer recommends that the public improvements be accepted. The improvements were found in a condition meeting City standards and specifications and in conformance with the approved project construction plans.

BACKGROUND Pursuant to the terms of Sections 17.9.100 and 17.9.304 of the City Development Code, the City Council may issue a "Notice of Acceptance" of the project improvements. Following the issuance of the Notice of Acceptance, the City accepts ownership of the project improvements. The project will then enter the one (1) year Durability Testing Period as specified in section 17.9.400 of the City Development Code.

In issuing a Notice of Acceptance, the City Council finds that:

- The condition of the improvements are found to be satisfactory.
- All liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made.
- The project clean-up is found to be satisfactory.

The City may request a current title report or other such measures or reports as deemed appropriate by the City as a means of determining the existence of any unreported liens or other claims upon the project. All financial information (if any) provided by the developer is attached. The Council may request additional information as deemed necessary.

BUDGET IMPACT Following the acceptance of improvements, there is a one (1) year Durability Testing Period wherein ten percent (10%) of the total ICG is held to ensure the durability of the constructed improvements.

SUGGESTED MOTION Move to accept the improvements and authorize the Mayor to execute the Notice of Acceptance for the 900 WEST PHASES 1.2A, 1.2B public improvements located at 900 West 200-350 South. Commence the Durability Testing Period by retaining ten percent (10%) of the ICG. To find that the project improvements are in a condition meeting City ordinances, standards, and specifications and are in conformance with the approved project

construction plans.

Note: With passage of the Common Consent Agenda items, the City Council will enact the motion and findings as noted in the "Suggested Motion" heading found above.

SUPPORTING DOCUMENTS

Dee sign-off-Acceptance Only 900 West 1.2A, 1.2B(PDF)

Notice of Completion-900 West 1.2A (PDF)

Notice of Completion-900 West 1.2B (PDF)

Notice of Acceptance Only - 900 West 1.2A,1.2B (PDF)

Lisa Halversen

From: Dee Howard
Sent: Thursday, January 13, 2022 2:04 PM
To: Lisa Halversen
Subject: 900 West 1.2A & 1.2 B - Approved

Follow Up Flag: Follow up
Flag Status: Flagged

Lisa,

900 West 1.2A and 1.2B has completed the punch list items and is approved for release of the bond and acceptance by the city.



Dee Howard | Infrastructure Manager
Engineering

P (801) 763-3060 ext. 685

F (801) 763-3004

51 E Main St., American Fork, UT 84003

Attachment: Dee sign-off-Acceptance Only 900 West 1.2A, 1.2B (Final Acceptance - 900 WEST PHASES 1.2A, 1.2B)



NOTICE OF COMPLETION AND REQUEST FOR RELEASE

Projects and/or subdivisions completed within the corporate limits of American Fork City

Mayor of American Fork
51 East Main
American Fork, UT 84003

Re: 900 W 1.2A

Dear Mayor:

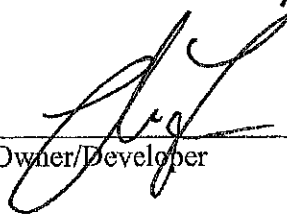
As the project and/or subdivision construction has now been completed in full, I request that the Improvement Completion Assurance be released in full up to one hundred percent (100%) of the initial construction costs. Following the release of the Improvement Completion Assurance, I understand that the one (1) year Improvement Warranty period will commence wherein ten percent (10%) of the total Improvement Completion Assurance is held to ensure the durability of the constructed improvements per City Ordinance Section 17.9.

I, MIKE DEMKE @ RED PINE CONSTRUCTION, the owner, developer, and authorized representative of 900 W 1.2A Subdivision/Project, do hereby request the release of the Improvement Completion Assurance. I certify that all liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made, and the project clean-up is complete.

Project: 900 W 1.2A

Address: 900 W. 350 S.

Requested Amount: 0


Owner/Developer

1-19-22
Date

Attachment: Notice of Completion-900 West 1.2A (Final Acceptance - 900 WEST PHASES 1.2A, 1.2B)



NOTICE OF COMPLETION AND REQUEST FOR RELEASE

Projects and/or subdivisions completed within the corporate limits of American Fork City

Mayor of American Fork
51 East Main
American Fork, UT 84003

Re: 900 W 1.2B

Dear Mayor:

As the project and/or subdivision construction has now been completed in full, I request that the Improvement Completion Assurance be released in full up to one hundred percent (100%) of the initial construction costs. Following the release of the Improvement Completion Assurance, I understand that the one (1) year Improvement Warranty period will commence wherein ten percent (10%) of the total Improvement Completion Assurance is held to ensure the durability of the constructed improvements per City Ordinance Section 17.9.

I, MIKE DEMKE @ RED PINE CONSTRUCTION the owner, developer, and authorized representative of 900 W 1.2B Subdivision/Project, do hereby request the release of the Improvement Completion Assurance. I certify that all liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made, and the project clean-up is complete.

Project: 900 W 1.2B

Address: 900 W. 350 S.

Requested Amount: 0

[Signature]
Owner/Developer

1-19-22

Date



NOTICE OF ACCEPTANCE OF IMPROVEMENTS

The City Council of American Fork City, a Municipal Corporation and Body Politic in the State of Utah, hereby authorizes the acceptance of public improvements for 900 WEST PHASES 1.2A, 1.2B pursuant to the terms of Section 17.9.100 and 17.9.304 of the City Development Code, and pursuant to the recommendation of staff and the receipt of reports, documents, and other correspondence. The City Council accepts the improvements completed with the finding that said improvements are in a condition meeting City ordinances, standards, and specifications and are in conformance with the approved project construction plans.

Amount Released: \$ 0.00_____

PASSED THIS 8 DAY OF FEBRUARY, 2022.

City Representative, American Fork City

ATTEST:

Terilyn Lurker, City Recorder



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder **Director Approval** Terilyn Lurker

AGENDA ITEM Review and action on a resolution of the American Fork City Council in opposition to the development of Utah Lake.

SUMMARY RECOMMENDATION

Staff would recommend approval of the resolution.

BACKGROUND

This resolution states the city council opposes the creation of the Utah Lake Authority under the proposed terms and conditions as outlined in H.B. 232 and requests that the legislative body of the State ensure restoration of the State's natural beauty, rather than create a pathway for future dredging and development of the Lake.

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to adopt the resolution stating the council's opposition to the development of Utah Lake.

SUPPORTING DOCUMENTS

02.08.22 - Utah Lake Resolution (DOCX)

A RESOLUTION OF THE AMERICAN FORK CITY COUNCIL IN OPPOSITION TO THE DEVELOPMENT OF UTAH LAKE.

WHEREAS Utah Lake (the “Lake”) is the centerpiece of Utah Valley and a valued part of the plentiful land we enjoy.

WHEREAS the Lake provides natural beauty, a panoramic viewscape, and recreation opportunities available to all residents and visitors of the local communities.

WHEREAS the economic vitality of the Wasatch Front depends on prudent water management and access to water rights.

WHEREAS water quality of the Lake is of utmost importance to not only local communities, but upstream and downstream users of the Lake.

WHEREAS any regulating entity for the Lake must remain responsive to a robust and transparent public process that includes collective and vigilant oversight from cities, businesses and communities that use and benefit from the Lake.

WHEREAS the creation of any board or commission having authority to oversee, maintain, manage, and/or develop the Lake, or assess fees, charges, or a tax, should include representation of *all* stakeholders, including the City of American Fork.

WHEREAS the proposed Utah Lake Authority, patterned after the Inland Port Authority, does not equitably represent citizens and stakeholders of the State and local communities.

WHEREAS the City supports legislative efforts to restore the sovereignty and continued primacy of the lake, similar to other large bodies within the State.

WHEREAS the right to sell, convey, grant, dispose of by gift, or otherwise dispose of any interest in real or personal property of the Lake to private bodies or political subdivisions should be reserved to the State Legislature and Governor of the State of Utah.

WHEREAS the contemplated \$2.00 per month, per sewer connection, nor the anticipated sales tax revenues, should not be imposed or modified by a non-elected regulating body; nor should it be imposed without an opportunity for those impacted to be heard. Furthermore, any fee established prior to an understanding of the needs of the Lake is premature in its assessment.

WHEREAS a number of groups and entities have initiated significant research efforts to determine the reasonableness and practicality of continued Lake restoration efforts. Said groups and entities should be allowed an opportunity to present their findings and such findings should be considered, in good faith, as restoration of the Lake, not development, is beneficial for local communities and their visitors.

WHEREAS the Legislature must ensure that the past and ongoing restoration efforts are not negated, but are allowed to continue, bringing additional, needed benefits to the Lake.

WHEREAS collaborative efforts of the past, including significant financial commitments, and the committed resources and efforts for the future demonstrate that the Lake is not irreparably damaged nor in need of Lake-wide dredging.

WHEREAS dredging the Lake is unnecessary, ecologically risky, highly expensive, and any islands that could result from such dredging will deface the Lake, harming its aesthetic and recreational values.

NOW THEREFORE, the American Fork City Council opposes the creation of the Utah Lake Authority under the proposed terms and conditions as outlined in H.B. 232 and requests that the legislative body of the State ensure restoration of the State's natural beauty, rather than create a pathway for future dredging and development of the Lake.

BE IT FURTHER RESOLVED, that the recorder of American Fork City transmit duly authenticated copies of this resolution to the President of the Utah Senate, to the Speaker of the Utah House of Representatives, to the clerk of the Legislature, to the Utah Lake Commission, and to the news media of Utah.

**PASSED AND ADOPTED BY THE CITY COUNCIL THIS ____ DAY OF
FEBRUARY, 2022.**

ATTEST:

Bradley J. Frost, Mayor

Terilyn Lurker, Recorder



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder

Director Approval Terilyn Lurker

AGENDA ITEM Review and action on the appointment of Stan Colby to the Senior Citizens Board (term ending 2025) and the reappointment of Christine Anderson to the Planning Commission (term ending 2028).

SUMMARY RECOMMENDATION

It is recommended to approve the appointments of Stan Colby and Christine Anderson.

BACKGROUND

Mayor Frost is recommending the appointments of Stan Colby to the Senior Citizen Board and reappointing Christine Anderson to the Planning Commission.

Stan Colby has been actively involved with the Senior Center. He has accepted the invitation to serve on the Senior Citizen Board.

Christine Anderson was appointed to the Planning Commission on January 26, 2016, after serving as an alternate member. She has completed her first six-year term and has accepted the invitation to serve another six-year term.

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to approve the appointment of Stan Colby to the Senior Citizens Board with a term ending 2025 and the reappointment of Christine Anderson to the Planning Commission with a term ending 2028.

SUPPORTING DOCUMENTS



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder Director Approval Terilyn Lurker

AGENDA ITEM Review and action on approval of a beer/alcoholic beverage license for H&H G5 LLC, dba Gourmandise, located at 215 East State Road.

SUMMARY RECOMMENDATION

Staff would recommend approval of the beer/alcoholic beverage license.

BACKGROUND

H&H G5 LLC, doing business as Gourmandise, is requesting a beer/alcoholic beverage license for their café/bakery located at 215 East State Road. This is the old Burger King building. Gourmandise has three locations in Salt Lake County.

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to approve the beer/alcoholic beverage license for H&H G5 LLC, dba Gourmandise, located at 215 East State Road.

SUPPORTING DOCUMENTS

02.08.22 - Alcohol Business License - Gourmandise 215 E State St (PDF)

American Fork

H&H G5 LLC

01/27/2022 - 12/30/2022

3450477

Beer/Alcoholic Beverage Business License

Application

General

5c3539d0-7fab-11ec-817e-05fae7f006c0

Active

New

Application Review Status

Final-Review

Not Reviewed

01/27/2022

Fees

New Beer/Alcoholic Beverage Application Fee

\$300.00

Subtotal**\$300.00****Amount Paid****\$0.00**

Payments

There are no payments

Application Form Data

(Empty fields are not included)

Applicant First Name

Vernon

Applicant Last Name

Hanssen

Phone Number

Email Address

Date of Birth

Age

Are you a US Citizen?

Yes

Social Security #



Reveal

Home Address (Street)

City

State

UT

Zip

Attachment: 02.08.22 - Alcohol Business License - Gourmandise 215 E State St (Gourmandise beer/alcoholic beverage license)

Name of Business to be Licensed

H&H G5 LLC

DBA

Gourmandise

Business Address

215 E. State St.

City

American Fork

State

UT

Zip

84003

Business Phone

(801) 671-1767

Type of American Fork City License

Alcoholic Beverage License

Type of DABC License Applying for

Limited Restaurant

Please upload a copy of County Health Permit

☐ Letter for Licensing.docx

Signature

I hereby certify that I have complied with the requirements and possess the qualifications specified in the Alcoholic Beverage Control Act, and that all the information I have provided in this application is true. I hereby certify that I have never been convicted of a felony, or any misdemeanor involving moral turpitude, or of any violation of any law or ordinance relating to alcoholic beverages, including DUI offenses. I agree that if a license is issued, it shall be subject to suspension or revocation as provided in Chapter 5.08 of the American Fork City Code. I further agree to post any bonds required by the City pursuant to the terms of Chapter 5.08 of the City Code. No business license shall be transferred from one person to another, nor from one location to another.

Vernon Hanssen - 01/27/2022 12:57 pm

Attachment: 02.08.22 - Alcohol Business License - Gourmandise 215 E State St (Gourmandise beer/alcoholic beverage license)



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder

Director Approval Terilyn Lurker

AGENDA ITEM Review and action on an ordinance approving the site plan for Roderick Catalyst Business Park Building 4 located in the area of 346 East 1600 South, in the PI-1 Planned Industrial zone.

SUMMARY RECOMMENDATION

Staff would recommend approval of the site plan.

BACKGROUND

This site plan went before the Planning Commission on January 19, 2022 and received a positive recommendation.

This area was annexed into the city in 2015. This site plan is the fourth phase of the office-warehouse development and consists of one office-warehouse structure. The 168,420 square foot building sits on approximately 9.9 acres and is accessed from 1600 South and 1700 South. The parking and landscaping requirements as per city code are met and the site plan is consistent with the Land use Plan Designation of "Design Industrial".

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to adopt the ordinance approving the site plan for Roderick Catalyst Business Park Building 4 located in the area of 346 East 1600 South, in the PI-1 Planned Industrial zone with instructions to the city recorder to withhold publication of the ordinance subject to all conditions identified in the public record with the January 19, 2022, planning commission meeting.

SUPPORTING DOCUMENTS

02.08.22 - Roderick Catalyst Building 4 - ordinance (DOCX)
 02.08.22 - Roderick Catalyst Building 4 - site plan (PDF)
 02.08.22 - Roderick Catalyst Building 4 - staff report (PDF)
 02.08.22 - Roderick Catalyst Building 4 - PC minutes (PDF)

ORDINANCE NO. _____**AN ORDINANCE APPROVING A SITE PLAN FOR RODERICK CATALYST BUSINESS PARK BUILDING 4, LOCATED IN THE VICINITY OF 346 EAST 1600 SOUTH IN THE PI-1 PLANNED INDUSTRIAL ZONE.****BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,****PART I****DEVELOPMENT APPROVED – ZONE MAP AMENDED**

- A. The site plan for the Roderick Catalyst Business Park Building 4, located at 346 East 1600 South, American Fork, Utah, as set forth in Attachment A, is hereby approved.
- B. Said plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone ____.
- C. Said plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II**ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and posting as required by state law.

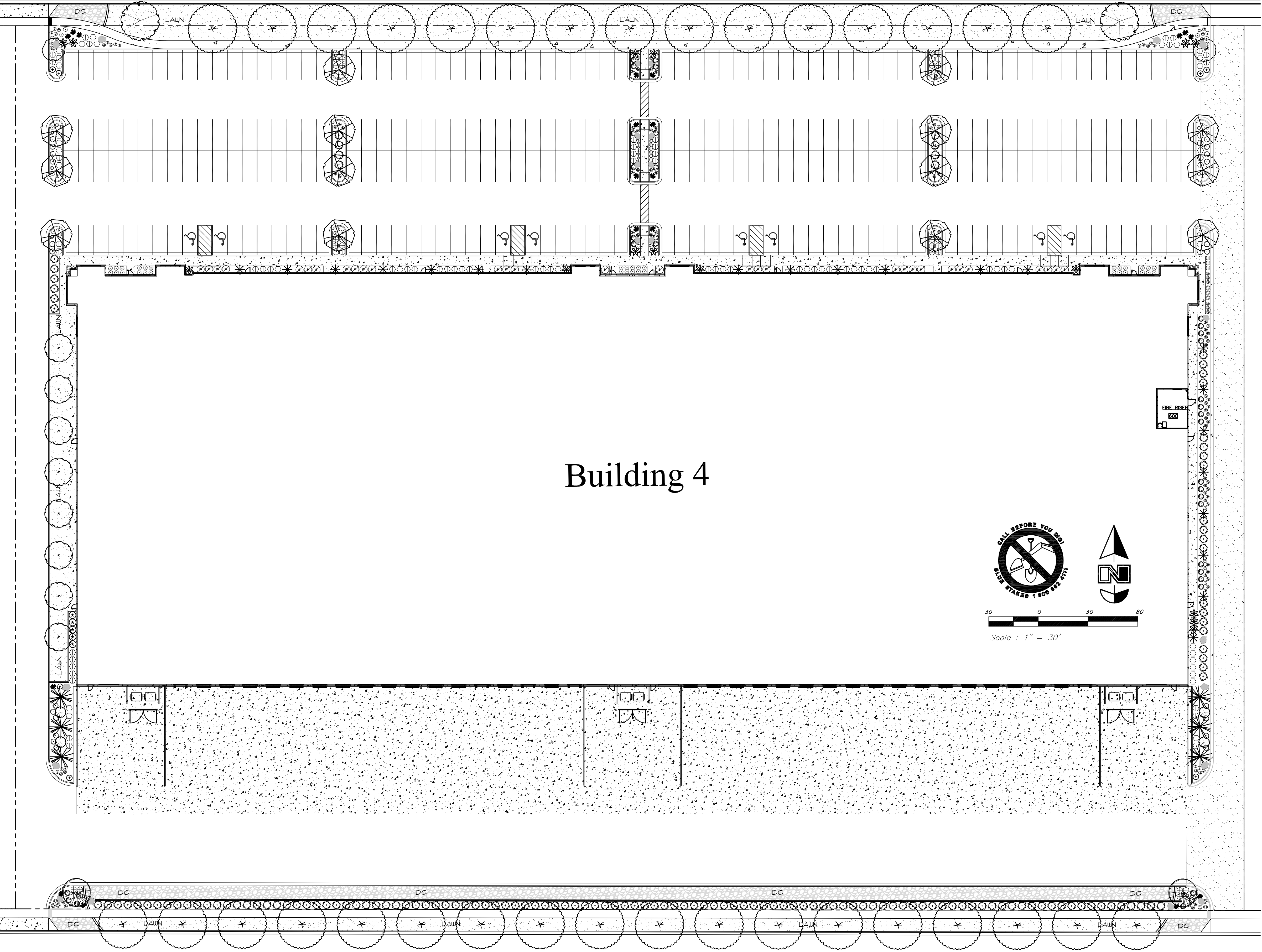
PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK,
UTAH, THIS 8th DAY OF FEBRUARY 2022.

Bradley J. Frost, Mayor

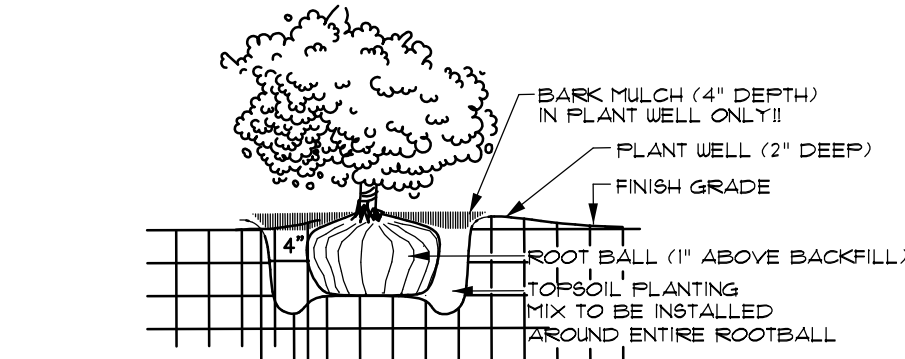
ATTEST:

Terilyn Lurker, City Recorder

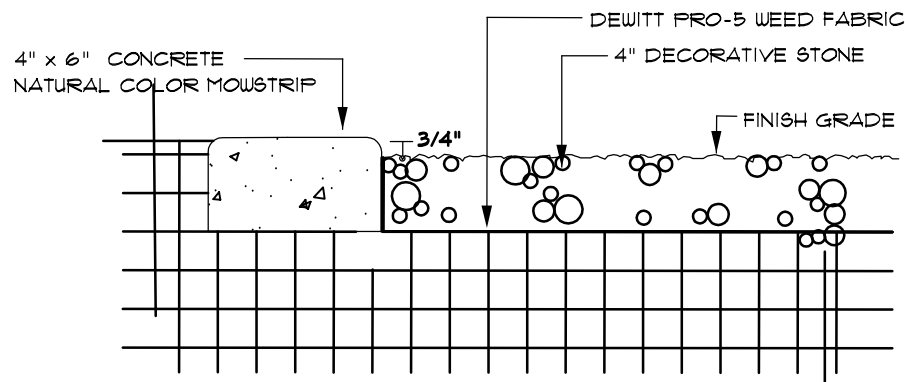
1600 South Street



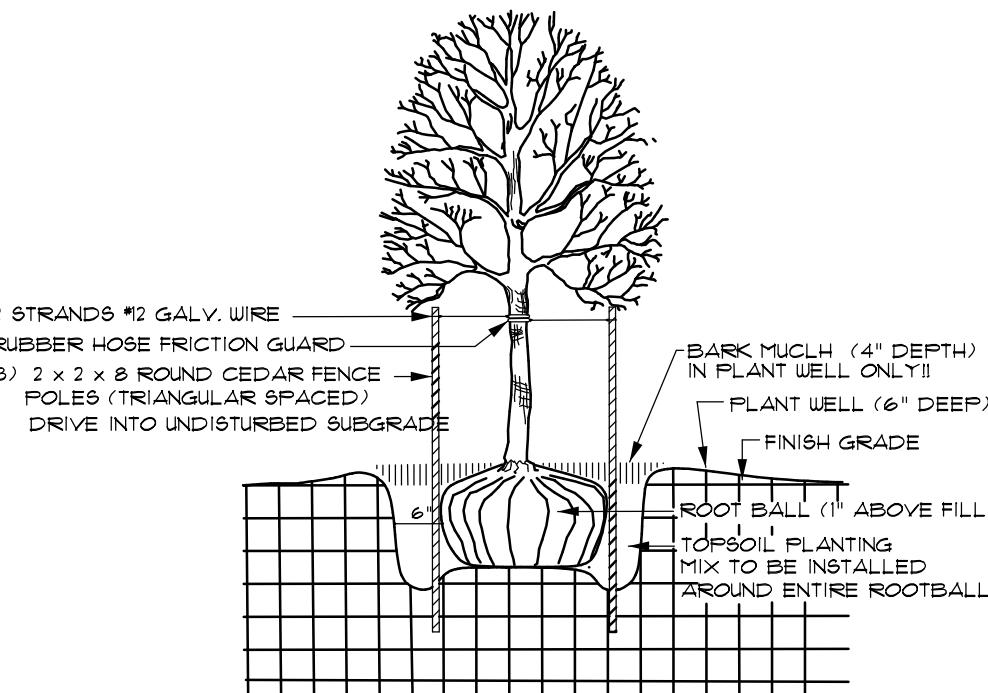
Legend		
Symbol	Description	Remarks
	Landscape Boulder / 3'-4' Minimum Diameter Size	Boulder Material To Match That Previously Used On Catalyst Building #1.
	4" x 6" Extruded Concrete Mowstrip / Natural Color	Install In Straight True Lines And Uniform Curves & Between All Lawn And Shrub Areas. Compact Sub-grade Prior To Installation.
	New Lawn Area / Use Water Conservptive Mixture	Install Lawn In Areas Shown & Over 4" Depth Of Topsoil. Provide Drought Tolerant Sod.
	Decorative Rock / 1 1/2" Size Product / "SOMAX" / Unwashed & Crushed / "Utah Landscaping Rock" Product.	Install In Areas Shown To A Depth Of 6 Inches Over "DeWitt" Brand Pro-5 Weed Barrier Fabric. Install 2 Applications Of Pre-Emergent Herbicide, 1 Below Fabric, 1 Above Fabric And /Or On Rock.
	New Shrub - Rock Area / 1"-4" Size Max. / Unwashed & Crushed / "Geneva Rock" Product.	Install In Areas Shown To A Depth Of 6 Inches Over "DeWitt" Brand Pro-5 Weed Barrier Fabric. Install 2 Applications Of Pre-Emergent Herbicide, 1 Below Fabric, 1 Above Fabric And /Or On Rock.



1 Shrub Planting
N.T.S.



2 Mowstrip / Stone Mulch
N.T.S.



3 Tree Planting
N.T.S.

RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rdl@designcomcast.net



STAMP

Catalyst Business Park Building #4

For Roderick Enterprises
346 East 1600 South American Fork, Utah 84003
Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

PROJECT: _____
DRAWN BY: RDL
CHECK BY: RDL
ISSUE DATE: 01-13-22
REVISIONS: XX-XX-XX

SHEET TITLE
Landscape
Planting
Plan

SHEET NUMBER

L-1

Plant List (TREES)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
33		Celtis occidentalis	Common Hackberry	2 1/2" Caliper 10'-12" Height	Full Head, Crown Straight Trunk
2		Malus 'Spring Snow'	Spring Snow Crab	2" Caliper 8'-10' Height	Full Head, Crown Straight Trunk
21		Picea abies 'Cupressina'	Columnar Norway Spruce	10' Min. Height Uniform Thick	Full Throughout Specimen
6		Picea pungens glauca	Colorado Green Spruce	10' Min. Height Uniform Thick	Full Throughout Specimen
2		Prunus virginiana 'Canada Red'	Canadian Red Cherry	2" Caliper 8'-10' Height	Full Head, Crown Straight Trunk
2		Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Caliper 8'-10' Height	Full Head, Crown Straight Trunk
8		Quercus fastigiata	Columnar Oak	2 1/2" Caliper 10'-12" Height	Full Head, Crown Straight Trunk
14		Zelcova serrata 'Musashino'	Musashino Zelcova	2 1/2" Caliper 10'-12" Height	Full Head, Crown Straight Trunk

Plant List (SHRUBS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
5		Buddleia davidii	Butterfly Bush	5 Gallon	18"-24" Height
30		Hydrangea panic. 'Limelight'	Limelight Hydrangea	5 Gallon	24"-30" Height
15		Physocarpus opul. 'Diablo'	Summer Wine Ninebark	5 Gallon	24"-30" Height
45		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	5 Gallon	18"-24" Spread
6		Potentilla frut. 'Gold Drop'	Gold Drop Cinquefoil	5 Gallon	15"-18" Height
142		Rhus aromatic 'Low Grow'	Grow Low Sumac	5 Gallon	18"-24" Spread
4		Rhus 'Balltiger'	Tiger Eyes Sumac	5 Gallon	24"-30" Height
34		Rosa 'Red Knock Out'	Red Knock Out Rose	5 Gallon	18"-24" Height
23		Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	18"-24" Height
19		Yucca filamentosa 'Ivory Tower'	Ivory Tower Yucca	5 Gallon	15"-18" Height

** Plant quantities are provided for convenience in the bidding and budgeting process ONLY!!
The contractor shall supply and install all plant materials either shown or noted on the plans.

Sub-Grade Requirements

1. LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
2. SHRUB AREAS (Between Walk & Building) : Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of topsoil along with a four inch depth of bark mulch or colored stone, leaving it slightly below finish grade and concrete areas.
3. SHRUB AREAS (Beyond Building Planters) : Twelve (12) inches below finish grade. This will allow for the installation of an eight inch depth of topsoil along with a four inch depth of bark mulch or colored stone, leaving it slightly below finish grade and concrete areas.
4. PERENNIAL-ANNUAL COLOR AREAS : Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of premium topsoil along with a four inch depth of bark mulch or compost product, leaving it slightly below finish grade and concrete areas.
5. PRODUCT COORDINATION : Early on in the construction process, the landscape contractor shall meet with the earthwork/grading contractor in order to ensure that the proper sub-grade elevations (prior to topsoil installation) will be provided.

Submittal Requirements

1. The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
2. All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

Plant List (ORNAMENTAL GRASSES)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
16		Bouteloua g. 'Blonde Ambition'	B.A. Blues Gramma Grass	2 Gallon	12"-15" Height
96		Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	24"-30" Height
32		Calamagrostis a. 'Overdam'	Overdam Feather Grass	5 Gallon	24"-30" Height

Plant List (PERENNIALS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
30		Hemerocallis 'Stella d'Oro'	Stella d'Oro Day Lily	1 Gallon	Full Can
36		Iris pallida 'Variegata Aurea'	Variegated Yellow Iris	1 Gallon	Full Can
16		Kniphofia 'rooperi'	Red Hot Poker	1 Gallon	Full Can
6		Lavandula angustifolia	English Lavender	1 Gallon	Full Can
34		Rudbeckia 'Goldstrum'	Black-Eyed Susan	1 Gallon	Full Can
34		Salvia 'May Night'	May Night Salvia	1 Gallon	Full Can

Planting Notes

1. All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas adjacent to the building shall receive a 12 inch depth of topsoil, all other shrubs areas an eight inch depth of topsoil. Topsoil material is not available on-site, and must be imported from an approved local source. All topsoil material shall be of a sandy loam mix.
2. Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
3. All lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of drought tolerant Bluegrass & Fescue. Prior to installation, all areas shall receive a starter fertilizer applied at the rate recommended by the manufacturer.
4. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
5. Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
6. Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
7. All trees located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless otherwise indicated.
8. Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over Pro-5 weed barrier fabric. The decorative stone material to be "BID" shall match what has been previously installed on Catalyst building #1, and per legend. This material is available from local sources. Contact the Owner or general contractor for all supplier information.
9. In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stone.
10. Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days minimum) and shall include mowing, weeding, pruning and one fertilization. In addition to the initial maintenance period, the landscape contractor shall provide a separate price as an additive alternate to extend the maintenance period through the one-year warranty period. The one-year contract will be between the landscape contractor and the Owner.
11. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

General Notes

1. All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
2. The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
3. The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
7. The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

PROJECT:	
DRAWN BY:	RDL
CHECK BY:	RDL
ISSUE DATE:	01-13-22
REVISIONS:	XX-XX-XX

SHEET TITLE
Landscape Planting Plan
SHEET NUMBER

L-2

Catalyst Business Park Building #4

For Roderick Enterprises

346 East 1600 South

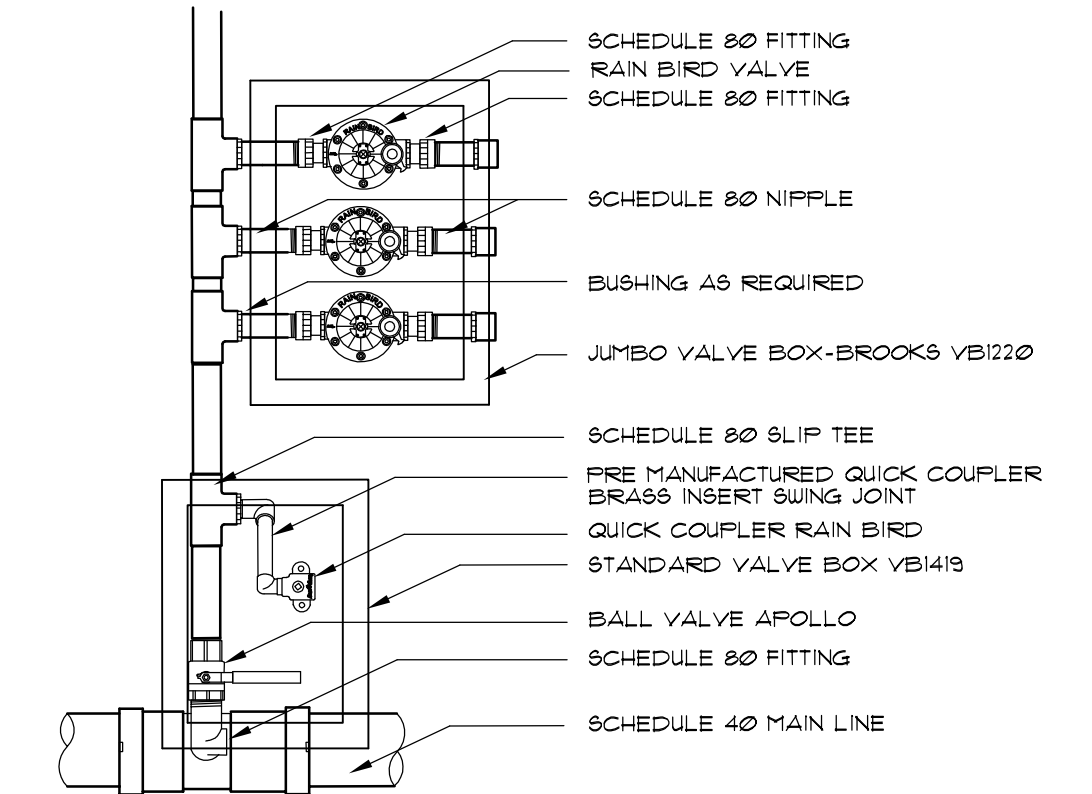
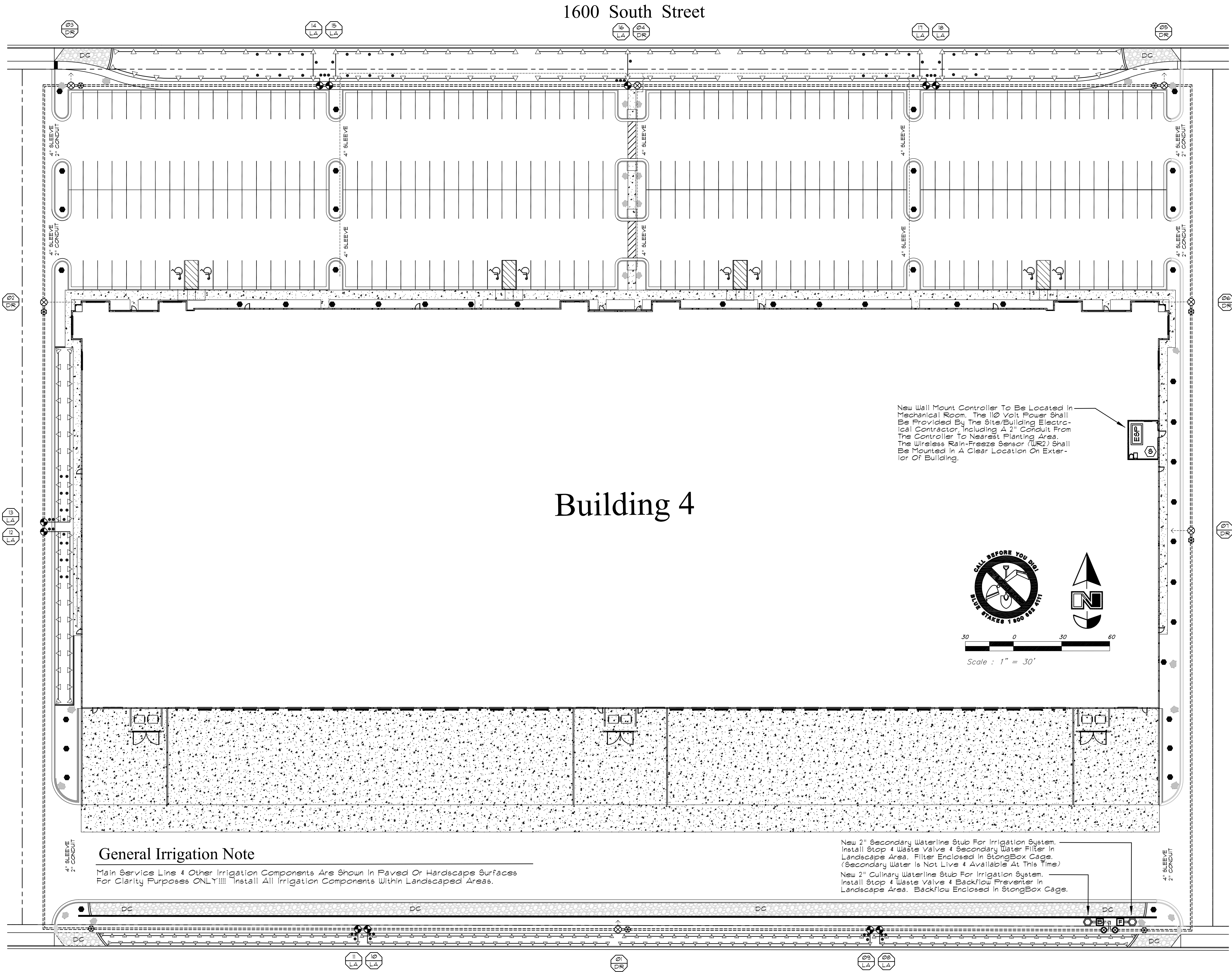
American Fork, Utah 84003

Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

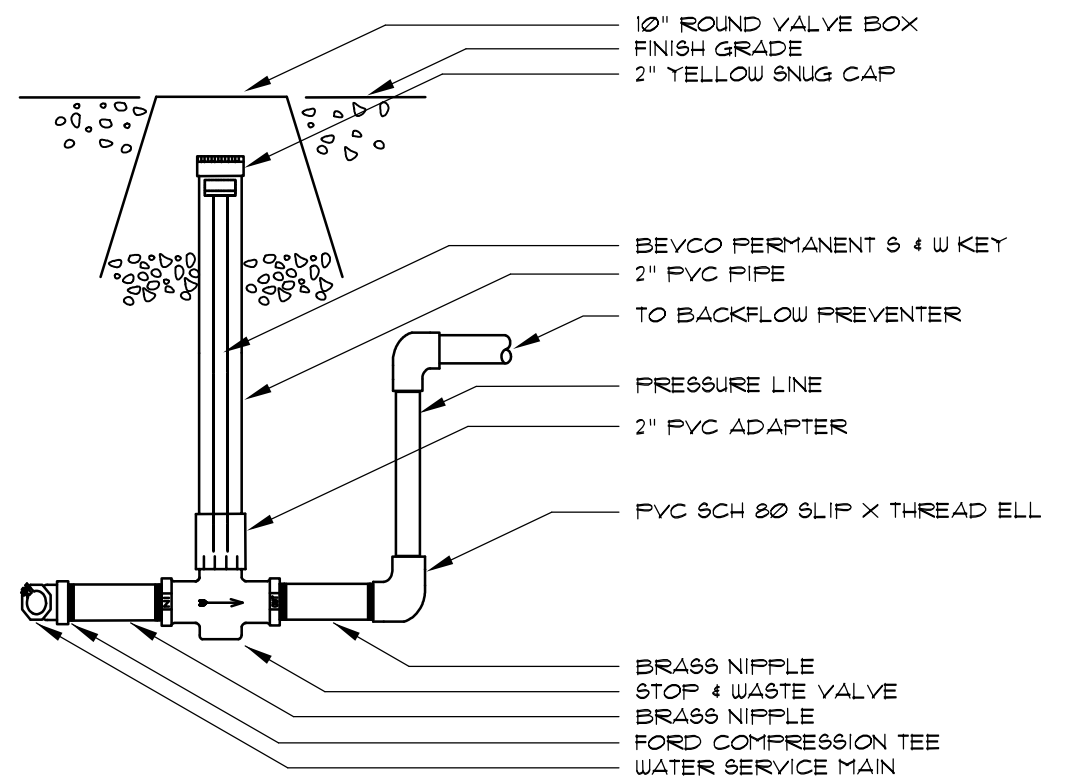


STAMP

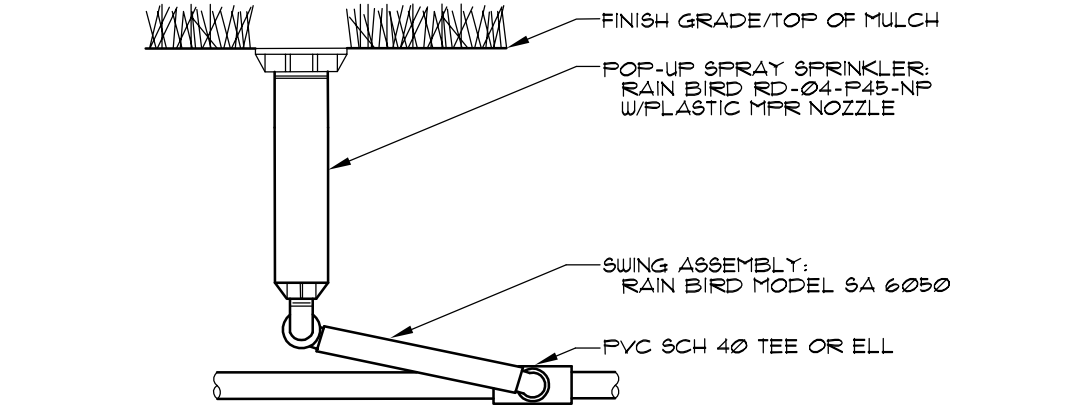
RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rdl@designcomcast.net



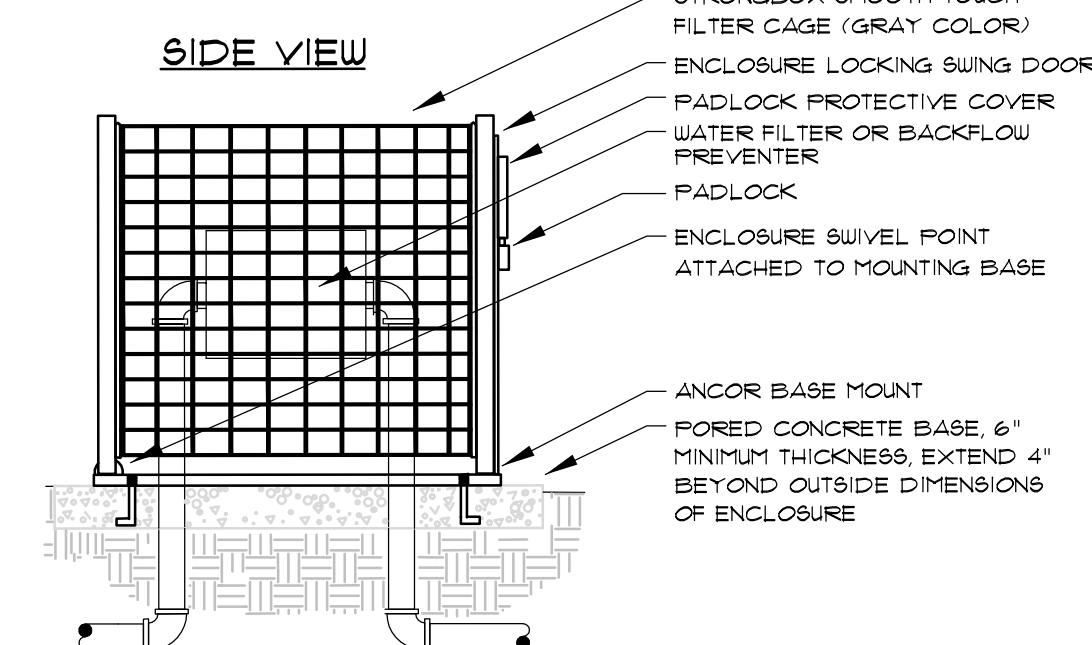
1 Valve Manifold
L-3 N. T. S.



2 Stop & Waste Valve
L-3 N. T. S.



3 Pop-Up Spray Sprinkler
L-3 N. T. S.



4 Filter Enclosure
L-3 N. T. S.

RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rdl@comcast.net



STAMP

Catalyst Business Park Building #4

For Roderick Enterprises
346 East 1600 South American Fork, Utah 84003
Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

PROJECT:
DRAWN BY:
CHECK BY:
ISSUE DATE:
REVISIONS:

SHEET TITLE
Irrigation
Sprinkler
Plan
SHEET NUMBER

Symbol	Model-Number	Description	Remarks
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-8 Series Nozzle As Required
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-12 Series Nozzle As Required
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-15 Series Nozzle As Required
●	Rainbird EMT-6	Multi Outlet Emitter Device	Added Emitters For Tree Type Specified
⊕	Rainbird 150-FESB-R	Remote Control Valve	1 1/2" Size In Valve Box With Gravel Sump
⊗	Rainbird 100-FESB-R	Remote Control Valve	1" Size In Valve Box With Gravel Sump
⊗	Rainbird XCZ-100-FRBR	Drip Control Zone Kit	1" Size In Valve Box With Gravel Sump
⊗	Apollo (Or Equal) Brass	Line Size Isolation Ball Valve	Install In Valve Box With Gravel Sump
⊗	Rainbird 33DNP	Quick Coupler Valve	3/4" Size In Valve Box With Gravel Sump
●	Rainbird (Or Equal)	PVC To PE Pipe Connection	Install Throughout Various Planting Beds
E6P	Rainbird E6P-LXD	2 Wire Modular Controller	Add Modules As Needed For Stations
S	Rainbird WR2-RFC	Wireless Rain-Freeze Sensor	Mount In Clear Location On Building
F	Mueller Orisael Mark II	Stop & Waste Valve	2" Size / Install Inside Curb Box
B	Amlad 2T-5	Secondary Water Filter	Install Above Grade With StrongBox
	Wilkins 2-3T5-RPZ	Reduced Pressure Backflow	2" / Install Above Grade With StrongBox
=====	Schedule 40 PVC	Main Service Line	2" Size Throughout
—————	Schedule 40 PVC	Lateral Circuit Line / Lawn	Pipe Size As Required / 1" Min. Size
-----	Schedule 40 PVC	Lateral Circuit Line / Shrub	Pipe Size As Required / 3/4" Min. Size
▨	Netafim HCVR-RW	Techline In-Line Drip Line	Emitter Spacing & GPH As Site Requires

General Irrigation Note

Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaces For Clarity Purposes ONLY!!!! Install All Irrigation Components Within Landscaped Areas.

Emitter Installtion Guide

PLANT SIZE	EMITTER DEVICE	QUANTITY
1 Gallon Shrub Plant Material	XB-20PC (2 Gal./Hr.)	Two Each
5 Gallon Shrub Plant Material	XB-20PC (2 Gal./Hr.)	Three Each
15 Gallon Tree Or Shrub Plant Material	PC-05 (5 Gal./Hr.)	Three Each
Calipered Plant Material	PC-05 (5 Gal./Hr.)	Six Each

Final selection of emitter type and quantity to be the responsibility of the irrigation contractor, in order to provide the optimum amount of precipitation to each plant, in addition to complying with project warranties.

Sleeving Installation Notes

Contractor shall coordinate the installation of sleeving with the installation of concrete flatwork and paving. All sleeving is by contractor unless otherwise noted. Install sleeving based upon the sizing guide below:

PIPE SIZE / WIRE QUAN.	REQUIRED SLEEVING
2" - 1 1/4" Piping	1-2" PVC Sleeve
1 1/2" - 2" Piping	1-4" PVC Sleeve
1-25 Control Wires	1-2" PVC Sleeve

Pipe GPM Design Guide

Pipe Size	Water Flow (GPM)
(Velocities Not To Exceed 5 Feet/Second)	
1" Size / NA	0 - 12 GPM
1 1/4" Size / ●	12 - 22 GPM
1 1/2" Size / ●●	22 - 30 GPM
2" Size / ●●●	30 - 50 GPM

NOTE: Contractor shall perform all pipe sizing using the above design guideline. 1" minimum size piping to be used with schedule 40 pvc.

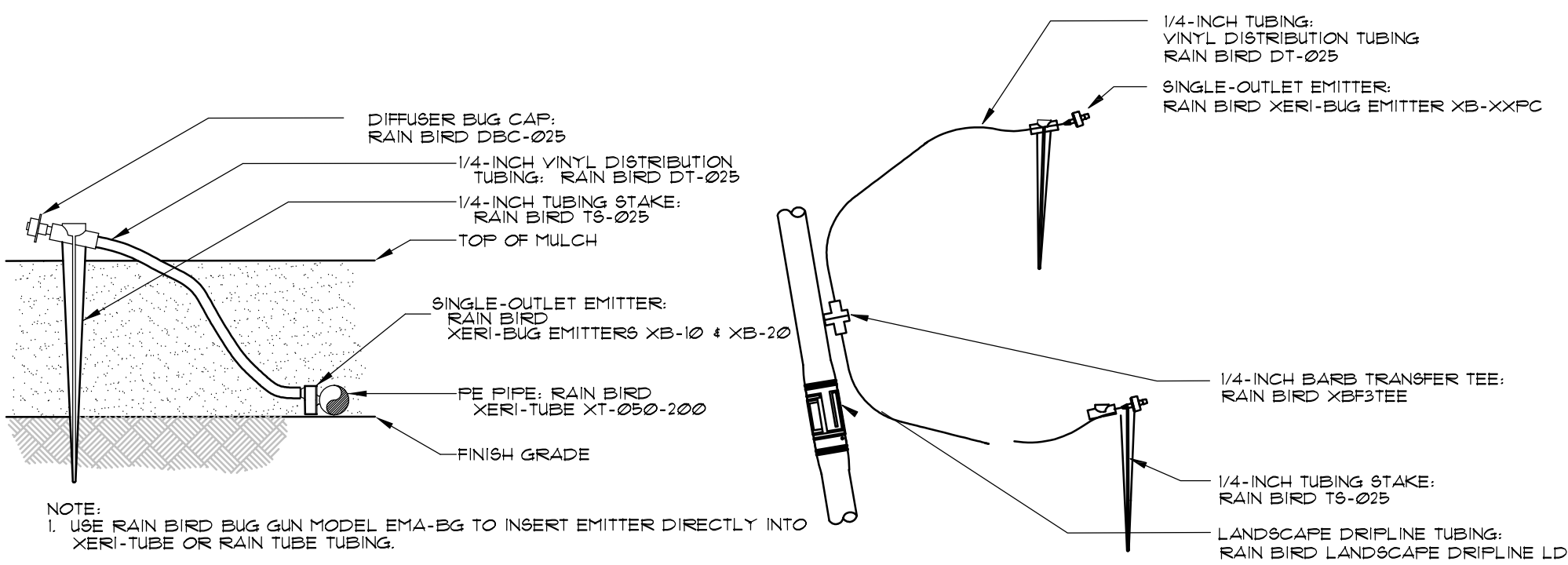
General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate their work with the project manager and all other contractors working on the site.
- The contractor shall verify the exact location and size of the irrigation waterline stub, and the available water pressure at the point of connection. Any conflicts from what is shown on the plans shall be brought to the attention of the engineer for a resolution.
- The contractor shall be responsible for the installation of all irrigation sleeves under paving and other hard surface areas, whether shown on the plan, or required otherwise. This shall also include the installation of electrical conduit(s) from the controller location to the nearest planting area.
- The controller shall be hardwired to the available 110 volt power source, with all work being performed per state and local codes. The controller shall be located in a convenient location as determined by the Owner and site/building contractor.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.

Irrigation Controller Valve Schedule

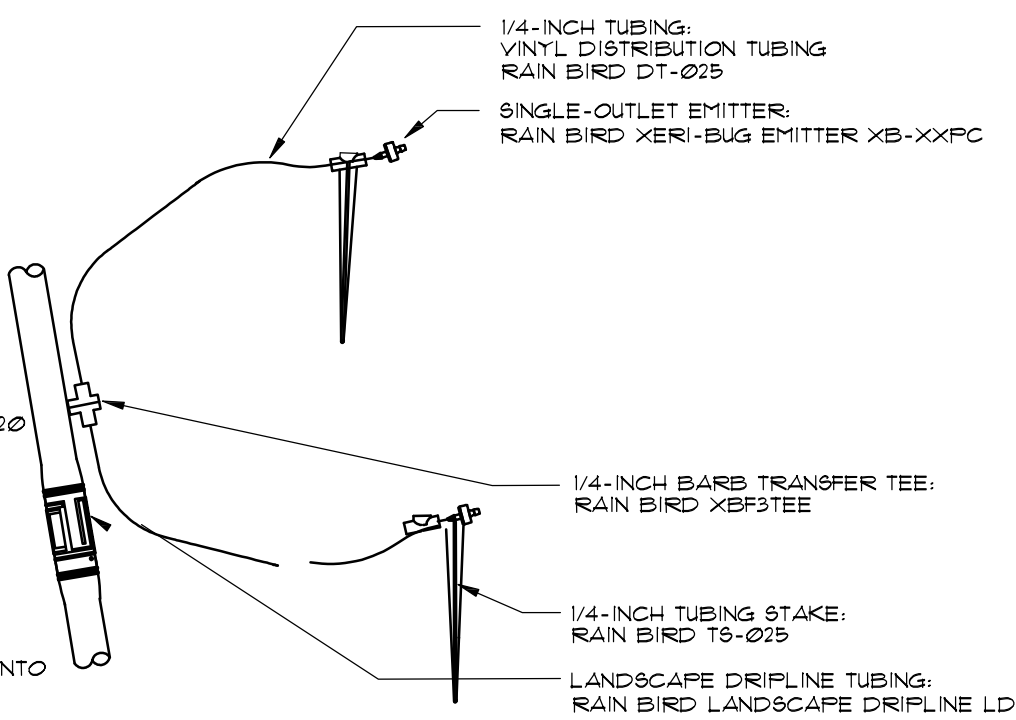
VALVE DATA				HYDRAULIC DATA			
•	Size	Sta. •	Head Type	Landscape Zone	Prec. Rate- inch/hr	GPM	PSI
1	1.0"	1	Drip	Plantings-Sun	NA	6.0	30
2	1.0"	2	Drip	Plantings-Sun	NA	6.0	30
3	1.0"	3	Drip	Plantings-Sun	NA	6.0	30
4	1.0"	4	Drip	Plantings-Sun	NA	6.0	30
5	1.0"	5	Drip	Plantings-Sun	NA	6.0	30
6	1.0"	6	Drip	Plantings-Sun	NA	6.0	30
7	1.0"	7	Drip	Plantings-Sun	NA	6.0	30
8	1.5"	8	Spray	Lawn	1.50	22.0	30
9	1.5"	9	Spray	Lawn	1.50	22.0	30
10	1.5"	10	Spray	Lawn	1.50	22.0	30
11	1.5"	11	Spray	Lawn	1.50	22.0	30
12	1.5"	12	Spray	Lawn	1.50	22.0	30
13	1.5"	13	Spray	Lawn	1.50	22.0	30
14	1.5"	14	Spray	Lawn	1.50	36.0	30
15	1.5"	15	Spray	Lawn	1.50	34.0	30
16	1.5"	16	Spray	Lawn	1.50	34.0	30
17	1.5"	17	Spray	Lawn	1.50	34.0	30
18	1.5"	18	Spray	Lawn	1.50	32.0	30

NOTE: Minimum static water pressure at the point of connection required is 50 psi. If water pressure is above 80 psi., install pressure reduction valve, & set to an operating pressure of 60 psi at connection point.



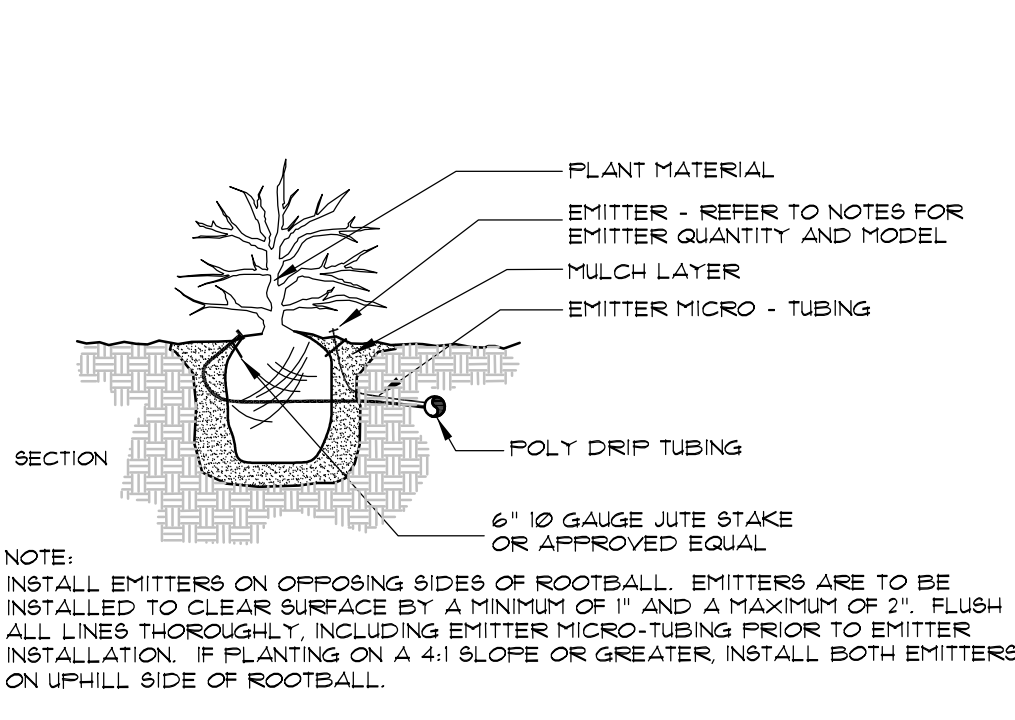
1 Emitter Into Xeri-Tube

L-4 N. T. S.



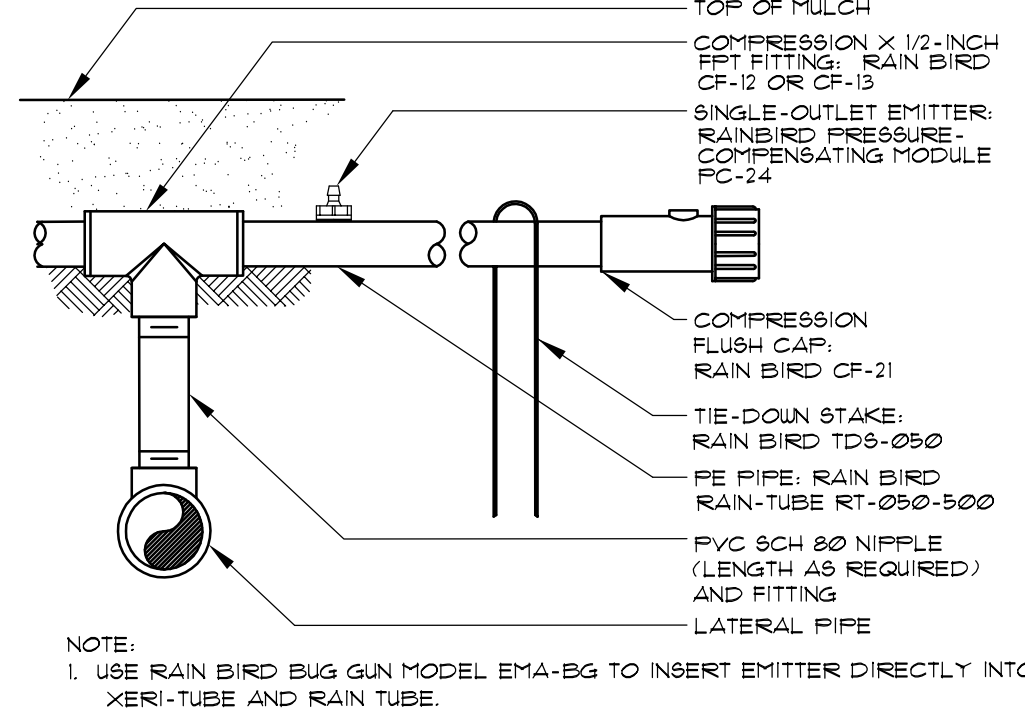
2 Dripline - Additional Emitters

L-4 N. T. S.



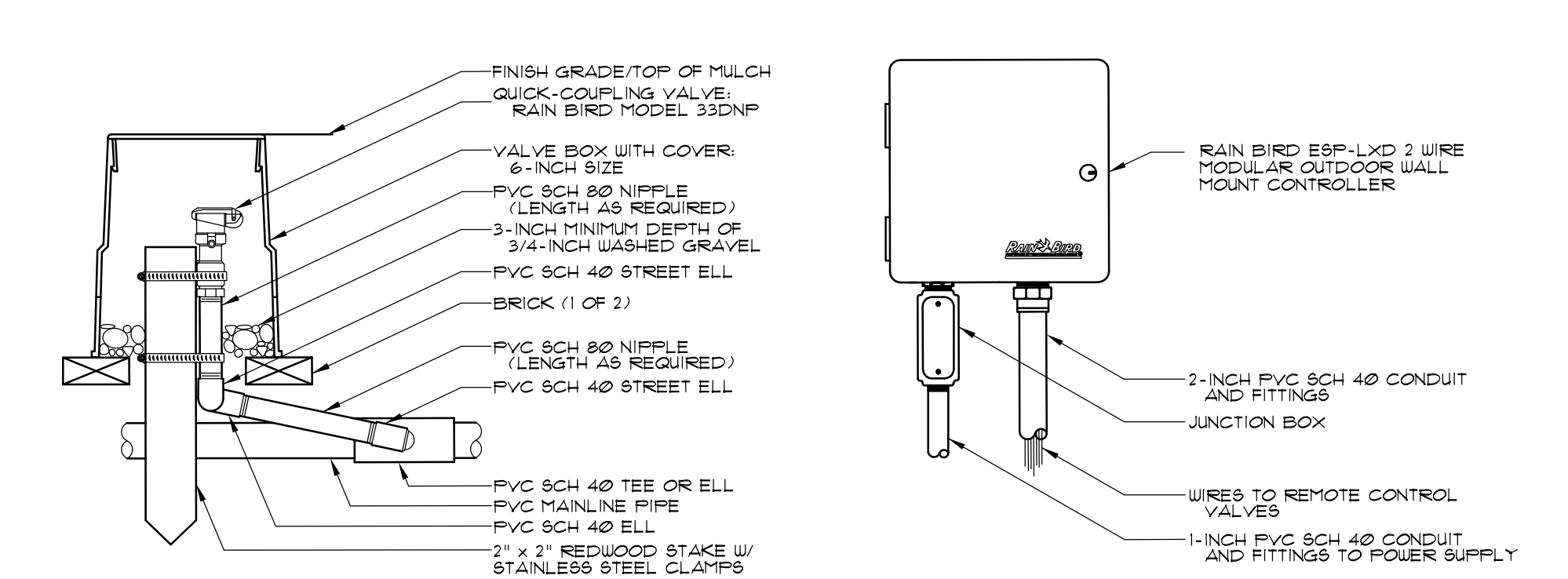
3 Drip Emitter

L-4 N. T. S.



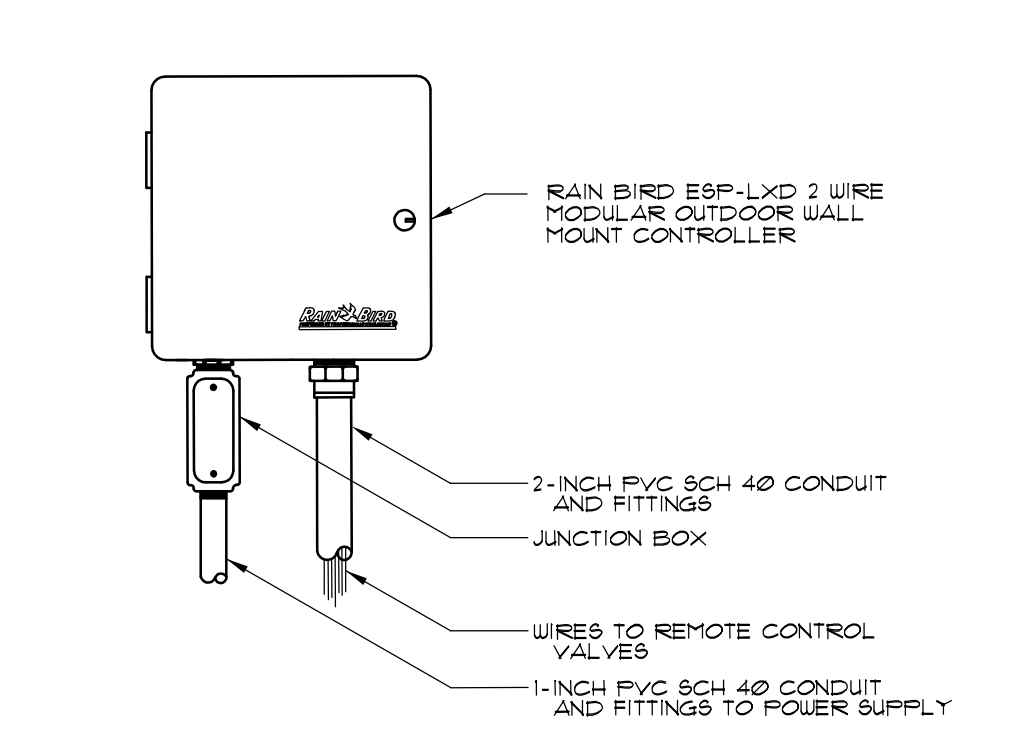
4 PVC To PE Pipe Connection

L-4 N. T. S.



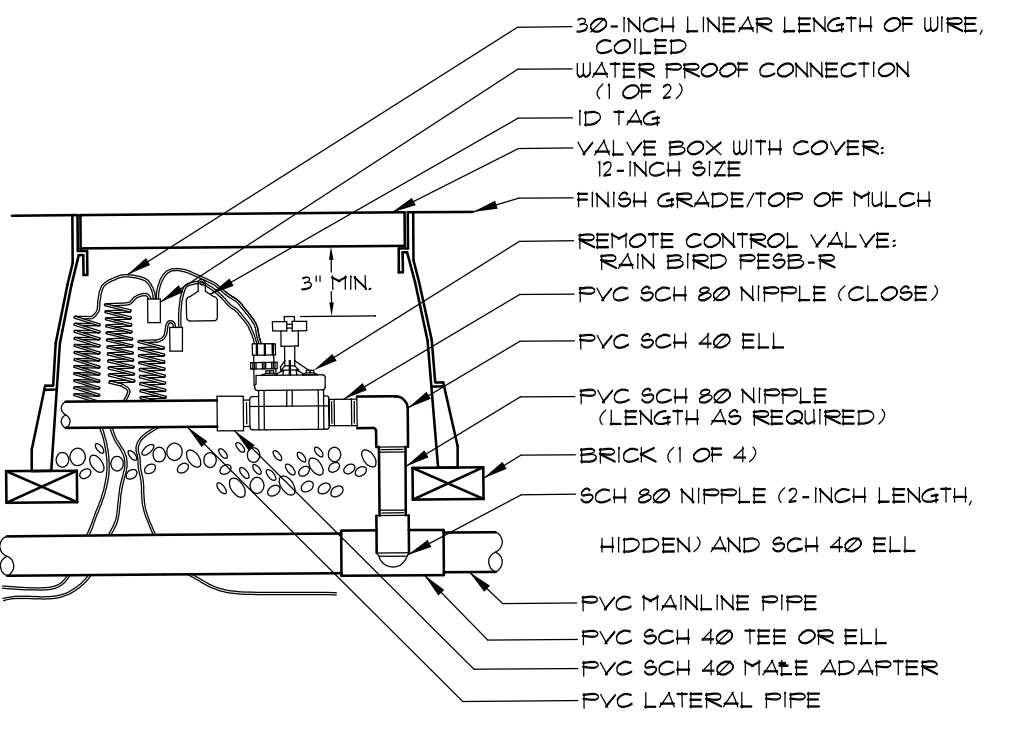
5 Quick Coupling Valve

L-4 N. T. S.



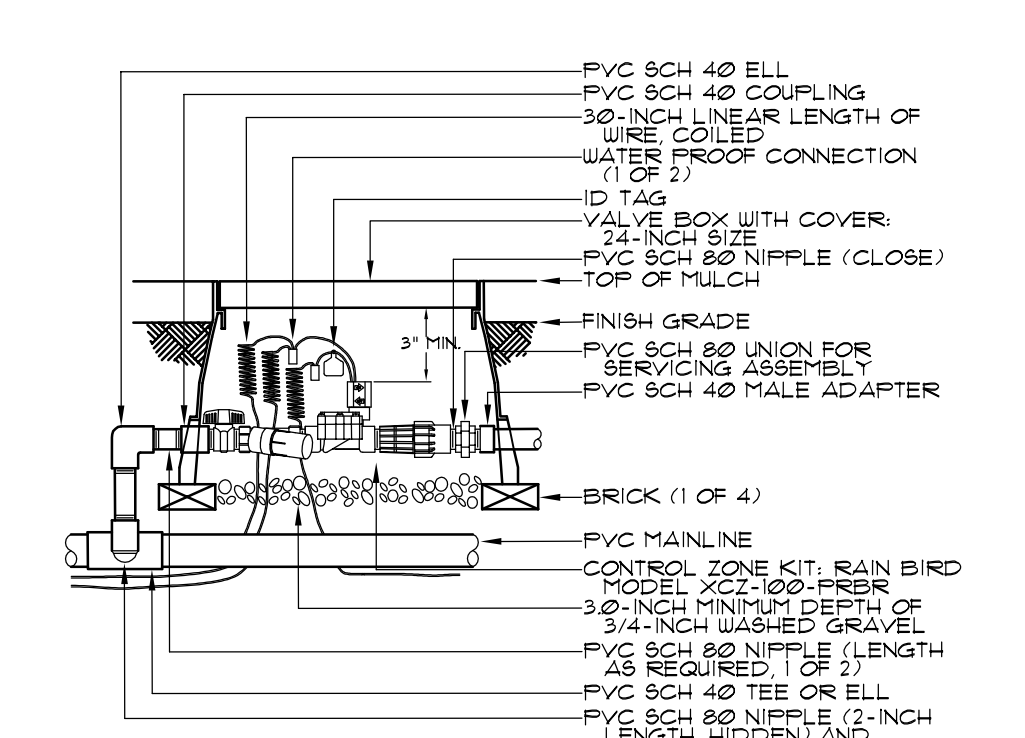
6 Wall Mount Controller

L-4 N. T. S.



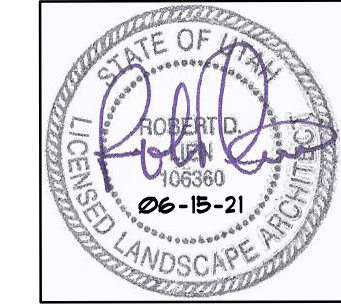
7 Remote Control Valve

L-4 N. T. S.



8 Xerigation Control Zone Kit

L-4 N. T. S.



STAMP

Catalyst Business Park Building #4

For Roderick Enterprises

346 East 1600 South American Fork, Utah 84003

Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

PROJECT:
DRAWN BY: RDL
CHECK BY: RDL
ISSUE DATE: 06-15-21
REVISIONS: XX-XX-XX

SHEET TITLE

Irrigation
Sprinkler
Plan

SHEET NUMBER

L-4

Roderick Catalyst-Business Park Building #4
Lot 4, Roderick Catalyst – Phase 2 Subdivision
346 East 1600 South
American Fork, Utah 84003

JUNE 15, 2021
REVISED SEPTEMBER 10, 2021
REVISED NOVEMBER 22, 2021
REVISED JANUARY 10, 2022

LEGEND

-4240.0

-4240.0

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-----FO-----

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EXISTING FIRE HYDRANT

PROPOSED FIRE HYDRANT

EXISTING STREET LIGHT

PROPOSED STREET LIGHT

PROPOSED PARKING LOT LIGHT

EXISTING WATER METER

EXISTING WATER VALVE

EXISTING GATE VALVE

EXISTING OVERHEAD POWER POLE

TOP BACK CONCRETE

FINISHED FLOOR

HIGH WATER

TOP OF GRADE

TOP OF LID

INVERT ELEVATION

EXISTING

NATURAL GROUND

TOP OF ASPHALT

TOP OF CONCRETE

EDGE OF CONCRETE

EDGE OF ASPHALT

TOP OF WALL

TOP OF GRAVEL

TOP OF LANDSCAPING

TOP OF SIDEWALK

PROPOSED

BACK OF SIDEWALK

TBC CALLOUT UNLESS OTHERWISE DESIGNATED

39.0

VICINITY MAP
NOT TO SCALE

PROJECT CONSTRUCTION NOTES:

- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS. NOTIFY CITY ENGINEER IF RUTTING/PUMPING OCCURS DURING CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
- ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
- CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
- CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
- CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
- INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
- INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
- ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS. SEE AMERICAN FORK CITY STANDARD PLAN NO. 15.22
- ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
- ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
- FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS
- ALL WATER LINES TO HAVE A MINIMUM 4' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
- THRUST BLOCKS TO BE INSTALLED PER AMERICAN FORK CITY PLAN NO 15.21
- CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
- ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL SITE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT.

General Notes:

CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.

ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.

THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.

FEMA NOTE:
THIS PROJECT LIES IN A FEMA DESIGNATED FLOOD ZONE AE WHICH IS DEFINED AS AREAS DETERMINED TO BE INSIDE THE 100-YEAR FLOOD PLAIN.
PER MAP NO. 49049C0306F. EFFECTIVE DATE: JUNE 19, 2020.
A FLOOD PLAIN DEVELOPMENT PERMIT IS REQUIRED. THE BASE FLOOD ELEVATION IS 4498 IN NAVD 88. THIS SURVEY FOR THIS PROJECT WAS DONE IN NGVD 29 AND THE BASE FLOOD ELEVATION IN THIS VERTICAL DATUM IS 4495.

DEMOLITION NOTE:
CONTRACTOR TO VISIT SITE AND DETERMINE ALL NECESSARY DEMOLITION REQUIRED TO INSTALL PROPOSED IMPROVEMENTS AND TO FIELD VERIFY ALL NECESSARY DEMOLITION HAS BEEN COMPLETED PRIOR TO CONSTRUCTION.

Proposed Lot 4 - Roderick Catalyst Phase 2

A parcel of land being part of Parcel 'A' as shown on the Roderick Catalyst Phase 1 Subdivision Plat recorded October 3, 2019 as Entry No. 100332019 Map Filing #16737 in the Office of the Utah County Recorder. Said parcel of land is located in the Northwest Quarter of Section 36, Township 5 South, Range 1 West, Salt Lake Base and Meridian and described as follows:

Beginning at a point which is 342.01 feet S. 89°30'39" E. along north line of said Section 36 and South 878.18 feet from the Northwest Corner of said Section 36; thence S. 89°19'23" E. 716.40 feet; thence S. 00°40'37" W. 534.24 feet; thence N. 89°14'38" W. 716.40 feet; thence N. 00°40'37" E. 533.25 feet to the Point of Beginning.

The above described parcel of land contains 382.371 square feet or 8.778 acres more or less.

BENCHMARK
FOUND BRASS CAP MONUMENT
FOR THE NORTHEAST CORNER OF
SECTION 35, T5S, R1E, SLE&M
ELEVATION: 4499.77

PROJECT CONTACT INFORMATION:		
AF CITY CULINARY WATER	JAY BREMS	(801) 763 3060
AF PRESSURIZED IRRIGATION	JAY BREMS	(801) 763 3060
AF SANITARY SEWER	ASHTON HARDY	(801) 763 3060
AF STORM DRAIN SEWER	ASHTON HARDY	(801) 763 3060
AF FIRE MARSHALL	MAT SACCO	(801) 763 3040
AF CITY INSPECTOR	DEE HOWARD	(801) 763 3060
AF FIBER	KYLE PETERSON	(801) 400 2933
AF FLOOD IRRIGATION COMPANY	ERNIE JOHN	(801) 471 6576
TIMPANOGOS SSD	DAVID BARLOW	(801) 756 5231
ROCKY MOUNTAIN POWER	TERIA WALKER	(801) 756 1310
COMCAST	ELYSIA VALDEZ	(801) 401 3017
CENTURY LINK	RYAN ALLRED	(385) 223 0084
DOMINION ENERGY	TRENT JOHNSON	(801) 853 6548

<div>CIVIL ENGINEER:</div> <div><div>CIVIL ENGINEERING + SURVEYING</div></div> <div>10718 SOUTH BECKSTEAD LANE, STE. 102 SOUTH JORDAN, UT 84095 – PH: 801-949-6296</div>	<div>OWNER:</div> <div>RODERICK ENTERPRISES</div> <div>1214 VINE STREET SALT LAKE CITY, UTAH 84121 CONTACT PERSON: MIKE RODERICK PH: (801) 506-5005</div>
<div>ARCHITECT:</div> <div>AE URBIA</div> <div>909 WEST SOUTH JORDAN PARKWAY SOUTH JORDAN, UTAH 84095 CONTACT PERSON: SHAWN EATON PH: (801) 746-0456</div>	

5.5.b

10/10/21

11/22/21

07/07/22

1

2

3

COMMENTS

COMMENTS

COMMENTS

NO

NO

NO

REVISIONS

BY

DATE

DESIGNER: TLH

PROJECT ENGINEER: TLH

CIVIL ENGINEERING + SURVEYING

CIVIL ENGINEERING + SURVEYING

10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 – 801-949-6296

Roderick Catalyst-Business Park Building #4

346 East 1600 South, American Fork, UT 84003

COVER SHEET

PROFESSIONAL ENGINEER

No. 12072623

TREVOR L. HODGSON

STATE OF UTAH

SHEET NO.

CV

PROJECT ID

DATE:

R1033-01

05/15/21

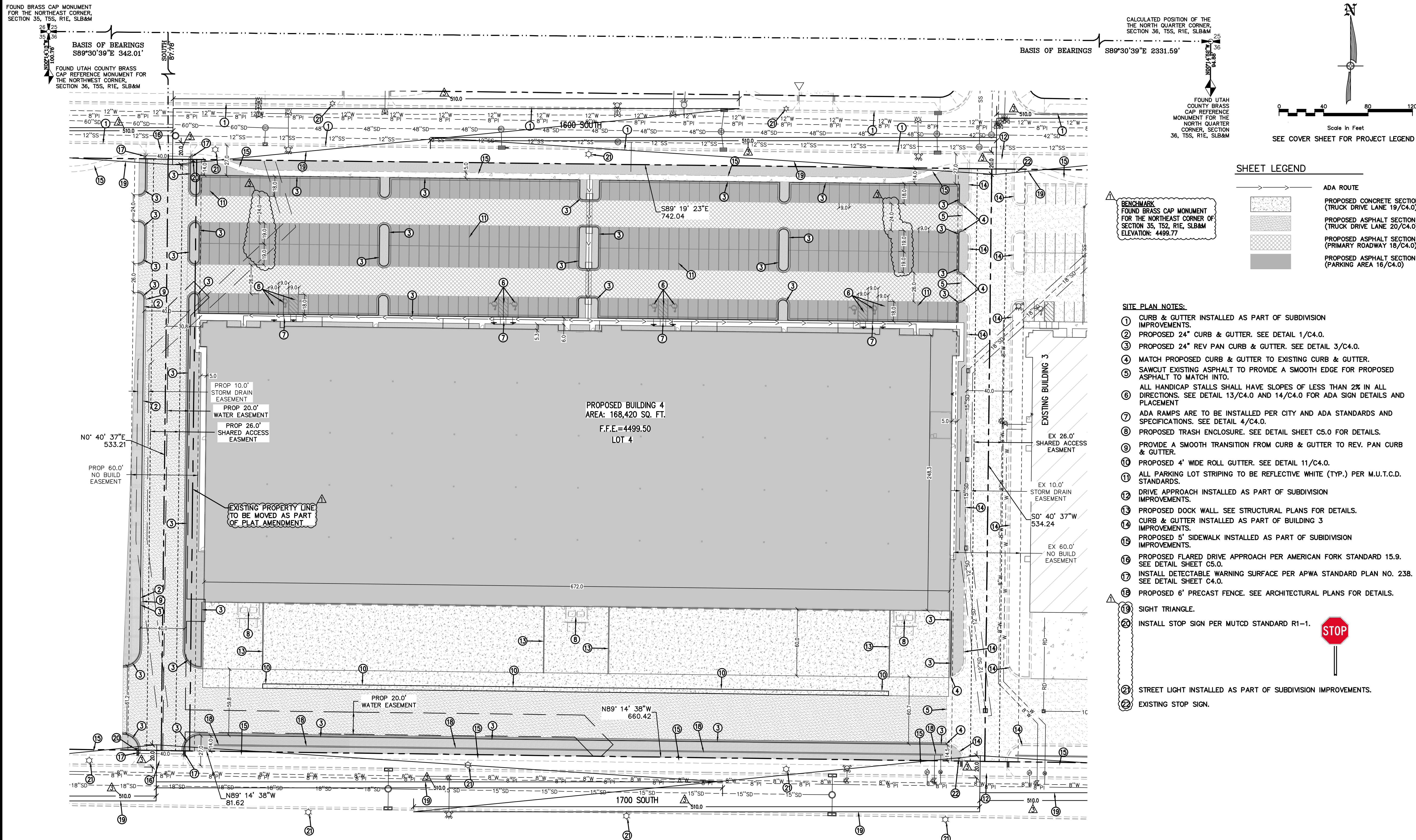
FILE NAME:







SCALE:

PRJ-RC4

Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

Packet Pg. 22



LOT 4 AREAS:		SQ. FT. / ACRES
LOT 4		396,045 SQ. FT. / 9.09 ACRES
	BUILDING 4 FOOTPRINT	168,289 SQ. FT. / 3.86 ACRES
	PROPOSED ASPHALT	118,839 SQ. FT. / 2.73 ACRES
	PROPOSED LANDSCAPING	28,275 SQ. FT. / 0.65 ACRES
	PROPOSED CONCRETE	65,118 SQ. FT. / 1.49 ACRES
	EXISTING ASPHALT	11,305 SQ. FT. / 0.26 ACRES
	EXISTING CONCRETE	4,219 SQ. FT. / 0.10 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.




LOT 4 PARKING REQUIREMENTS:		
	SQ. FT.	CITY REQMT
OFFICE	39,525 SQ. FT.	158.10 (4/1000)
WAREHOUSE	128,895 SQ. FT.	128.90 (1/1000)
TOTAL REQUIRED:		287 (287.00)
TOTAL PROVIDED:		287
ACCESSIBLE SPACES		8 (7 REQ'D 201 TO 300)

REFERENCED CODED:

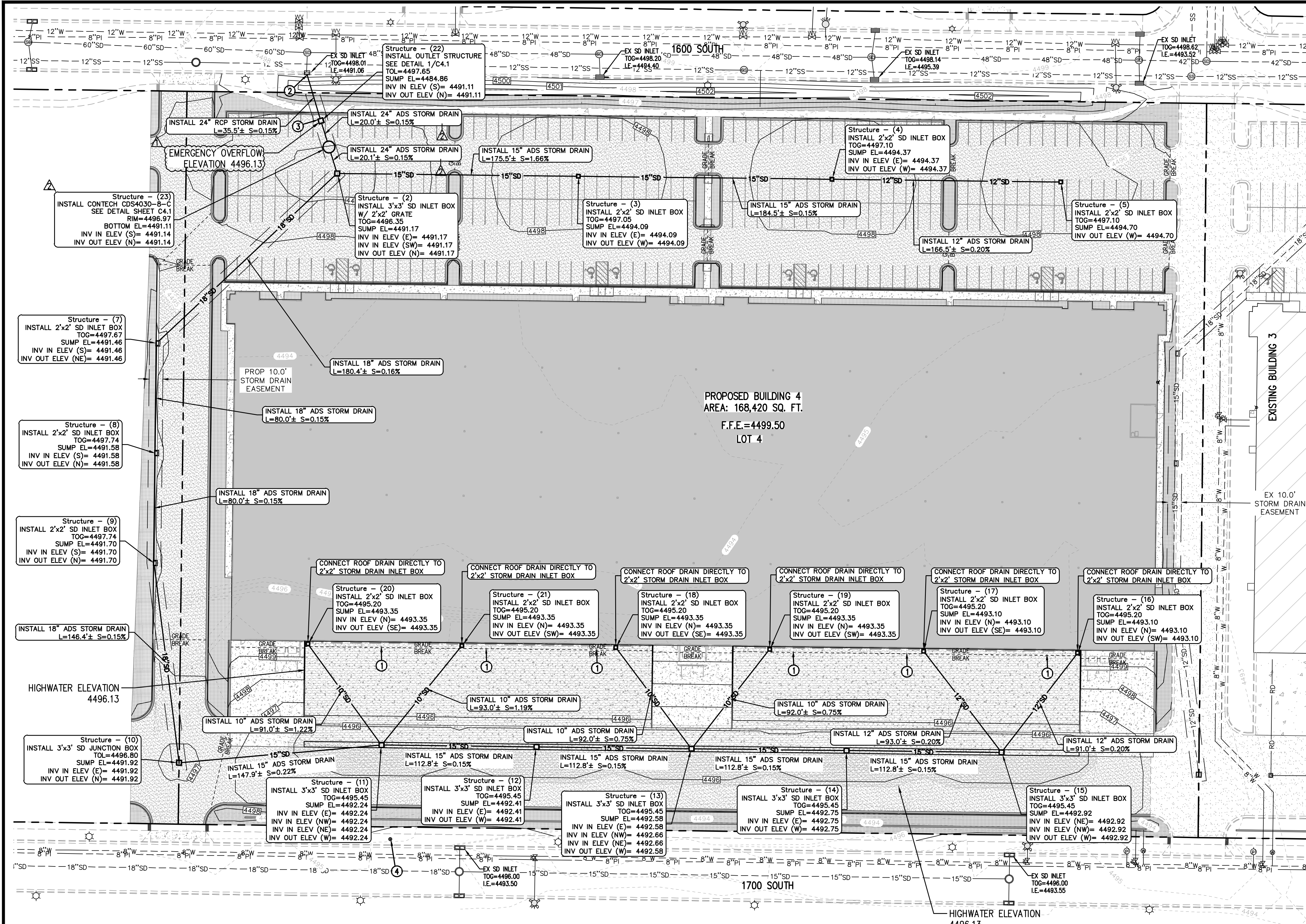
- OFF-STREET PARKING STANDARDS OF THE AMERICAN FORK CITY, UTAH CODE (FOR CITY REQUIREMENTS)

NOTES:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.
2. ALL TYPICAL CONSTRUCTION TO COMPLY WITH AMERICAN FORK CITY STANDARDS. SEE AMERICAN FORK STANDARD DRAWINGS.

OFFSITE IMPROVEMENTS:	
	SQ. FT. / ACRES
OFFSITE IMPROVEMENT TOTAL	16,059 SQ. FT. / 0.37 ACRES
 ASPHALT	11,318 SQ. FT. / 0.26 ACRES
 LANDSCAPING	3,826 SQ. FT. / 0.09 ACRES
 CONCRETE	915 SQ. FT. / 0.02 ACRES

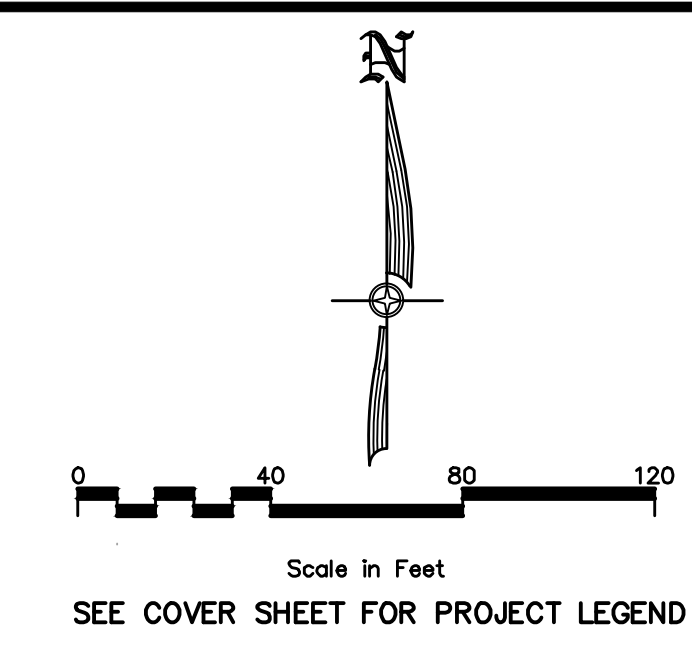
NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.



SHEET LEGEND

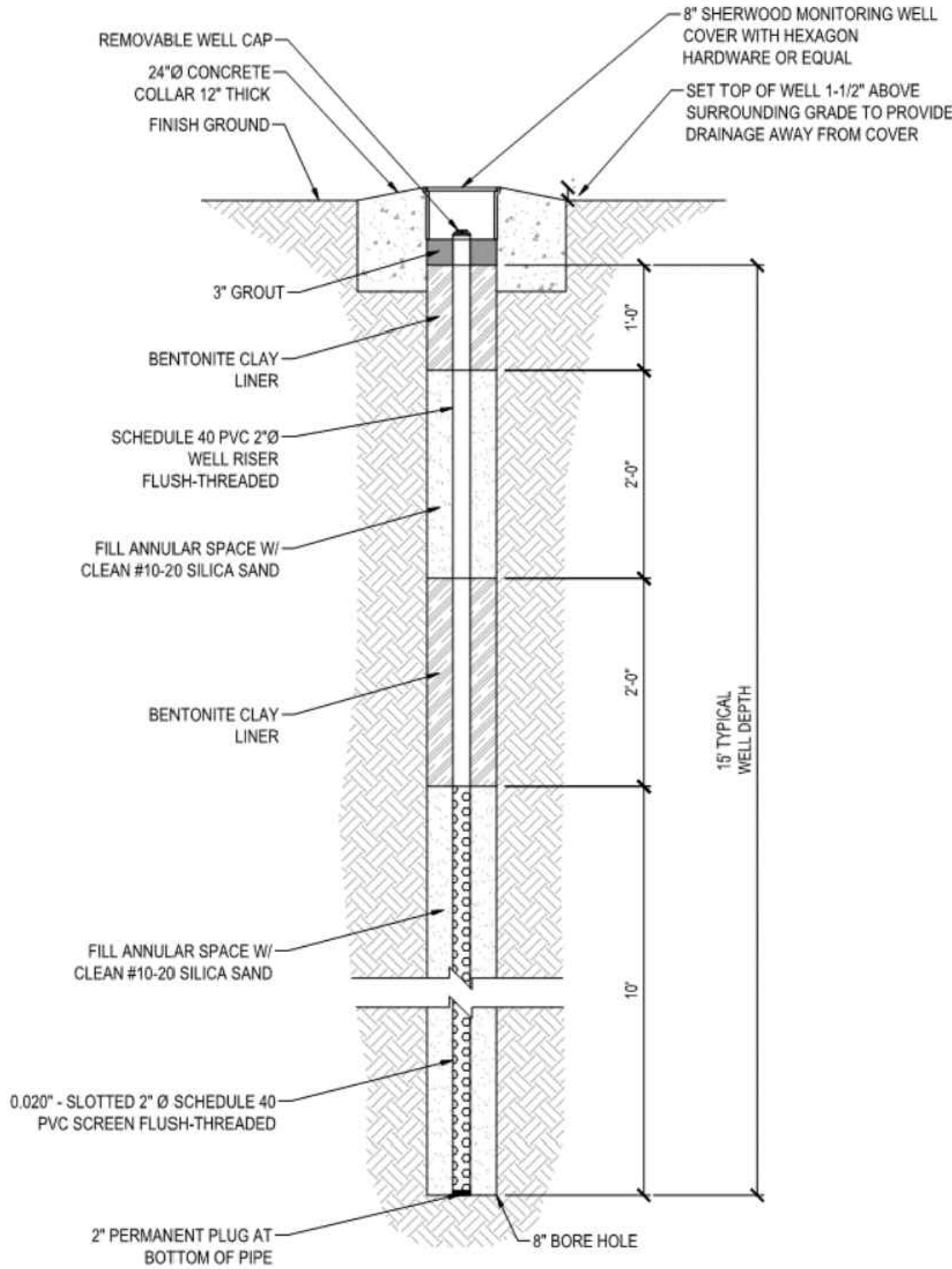
DETECTION AREA

BENCHMARK
FOUND BRASS CAP MONUMENT
FOR THE NORTHEAST CORNER OF
SECTION 35, T32, R1E, S1B&M
ELEVATION: 4499.77



SHEET NOTES:

- SEE DETAIL 6/C4.0 FOR TYPICAL DOCK AREA GRADING AND SHEET C2.0 FOR ELEVATIONS. 4' FROM BUILDING 4' BELOW FINISHED FLOOR ELEVATION. CONCRETE WITHIN 4' OF BUILDING TO BE FORMED TO DIRECT STORM WATER RUNOFF TOWARDS PROPOSED INLET BOXES.
- CONNECT PROPOSED 15" STORM DRAIN PIPE TO EXISTING STORM DRAIN INLET BOX AT I.E.=4491.06.
- INSTALL 13.0" ORIFICE PLATE. SEE DETAIL 9/C4.0.
- INSTALL GROUNDWATER MONITORING WELL (W/PIEZOMETER). SEE DETAIL 1 THIS SHEET.



1 GROUNDWATER MONITORING WELL (W/ PIEZOMETER)
SCALE: NONE

10/10/21
11/22/21
07/07/22

COMMENTS
COMMENTS
COMMENTS

NO
NO
NO

REVISIONS
REVISIONS
REVISIONS

DATE
DATE
DATE

PROJECT ENGINEER: TLH
PROJECT ENGINEER: TLH
PROJECT ENGINEER: TLH

CIVIL ENGINEERING
SURVEYING

CIR

10718 SOUTH BECKSTEAD LN., STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296

RODERICK CATALYST-BUSINESS PARK BUILDING #4
346 EAST 1600 SOUTH, AMERICAN FORK, UT 84003

DRAINAGE PLAN

Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

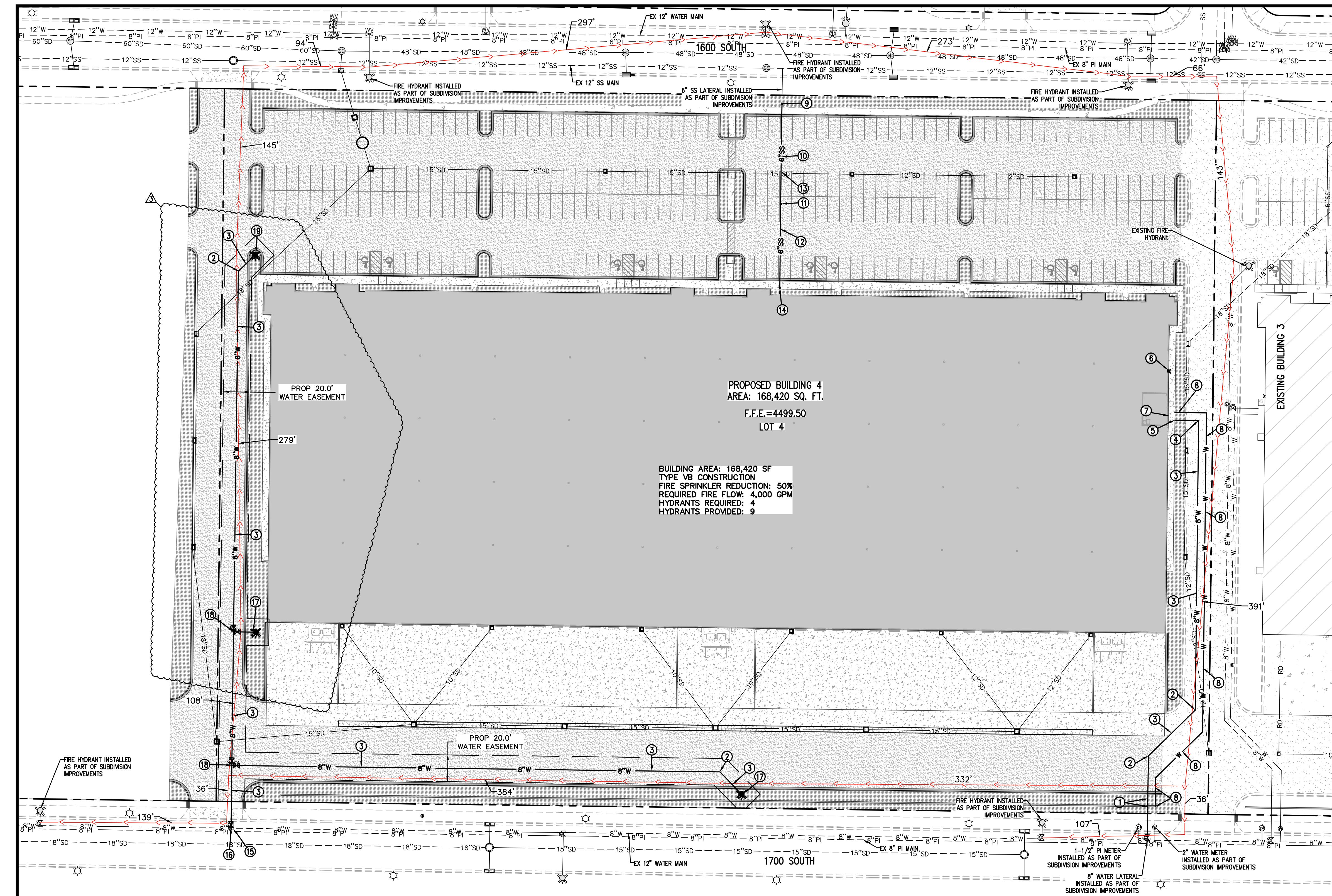
PROFESSIONAL ENGINEER
No. 12072623
TREVOR L. HODGSON
STATE OF UTAH

SHEET NO.
C2.1

PROJECT ID: R1033-01
DATE: 05/15/21
FILE NAME: PRJ-RC4
SCALE: 1"=40'

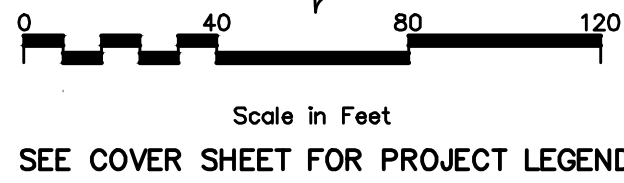
CALL BEFORE YOU DIG
BLUE STAKES 1 800 669 8474

Packet Pg. 26



SEWER NOTE:
1. ALL SANITARY SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.
2. ALL LATERAL CONNECTIONS SHALL BE INSERT-A-TEE OR WYE AT TEN O'CLOCK POSITIONING TO THE CENTER OF THE MAIN LINE.

WATER NOTE:
AREAS WHERE GROUNDWATER IS ENCOUNTERED, MECHANICAL RESTRAINTS ARE TO BE USED INSTEAD OF THRUST BLOCKS. SEE DETAIL SHEET C5.0.



SHEET LEGEND
FIRE HYDRANT SPACING

- SHEET NOTES:**
1. CONNECT TO STUBBED 8" FIRE LINE AND INSTALL 8" PVC C-900 FIRE LINE.
 2. INSTALL 8" 45° BEND W/THRUST BLOCKS.
 3. INSTALL 8" PVC C-900 FIRE LINE.
 4. INSTALL 8" 90° BEND W/THRUST BLOCKS.
 5. INSTALL 8" PVC C-900 FIRE LINE. END 5' FROM BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION TO FIRE RISER.
 6. INSTALL WALL MOUNTED FDC.
 7. INSTALL KNOX BOX 1650 OR 3200 SERIES KEY BOX FOR FIRE DEPARTMENT ACCESS.
 8. CONNECT TO STUBBED 2" WATER LINE AND INSTALL 2" POLY PIPE W/BENDS. END 5' FROM BUILDING AND SEE MECHANICAL PLANS FOR CONTINUATION TO BUILDING.
 9. CONNECT TO STUBBED 6" SEWER LINE AT I.E.=4486.75 AND INSTALL 6" CLEANOUT WYE, TOL=MATCH TOP OF PROPOSED LANDSCAPING. CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
 10. INSTALL 75'± OF 6" PVC SEWER PIPE, S=2.0%.
 11. INSTALL 6" CLEANOUT WYE, I.E.=4488.25 TOL=MATCH TOP OF PROPOSED ASPHALT.
 12. INSTALL 63'± OF 6" PVC SEWER PIPE, S=2.0%.
 13. I.E.(15"SD)=4494.29 TOP(6"SS)=4488.27
 14. INSTALL 6" 2-WAY CLEANOUT WYE 5' FROM BUILDING, I.E.=4489.51, TOL=MATCH TOP OF PROPOSED LANDSCAPING. SEE MECHANICAL PLANS FOR CONTINUATION.
 15. SAWCUT EXISTING ASPHALT TO INSTALL LATERAL, WORK TO BE DONE PER AMERICAN FORK STANDARD 15.22.
 16. HOT TAP PROPOSED 8" PVC C-900 FIRE LINE TO EXISTING 8" WATER MAIN W/ GATE VALVE AND THRUST BLOCKS. ALL WORK TO BE DONE PER AMERICAN FORK STANDARDS.
 17. INSTALL FIRE HYDRANT PER AMERICAN FORK STD. 15.6. SEE DETAIL SHEET C5.0.
 18. INSTALL 8" TEE W/THRUST BLOCKS AND GATE VALVES.
 19. INSTALL FIRE HYDRANT PER AMERICAN FORK STD. 15.6. SEE DETAIL SHEET C5.0. TRAFFIC PROTECTION BOLLARDS ARE TO BE PROVIDED. SEE DETAIL 10/C4.0.



09/10/21
11/22/21
07/07/22

COMMENTS
COMMENTS
COMMENTS

NO

REVISIONS

BY

DATE

PROJECT ENGINEER: TLH

CIVIL ENGINEERING + SURVEYING

CIR

10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296

RODERICK CATALYST-BUSINESS PARK BUILDING #4

346 EAST 1600 SOUTH, AMERICAN FORK, UT 84003

UTILITY PLAN

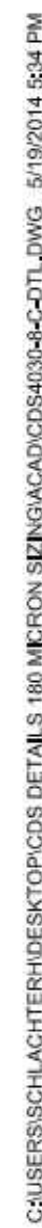
Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

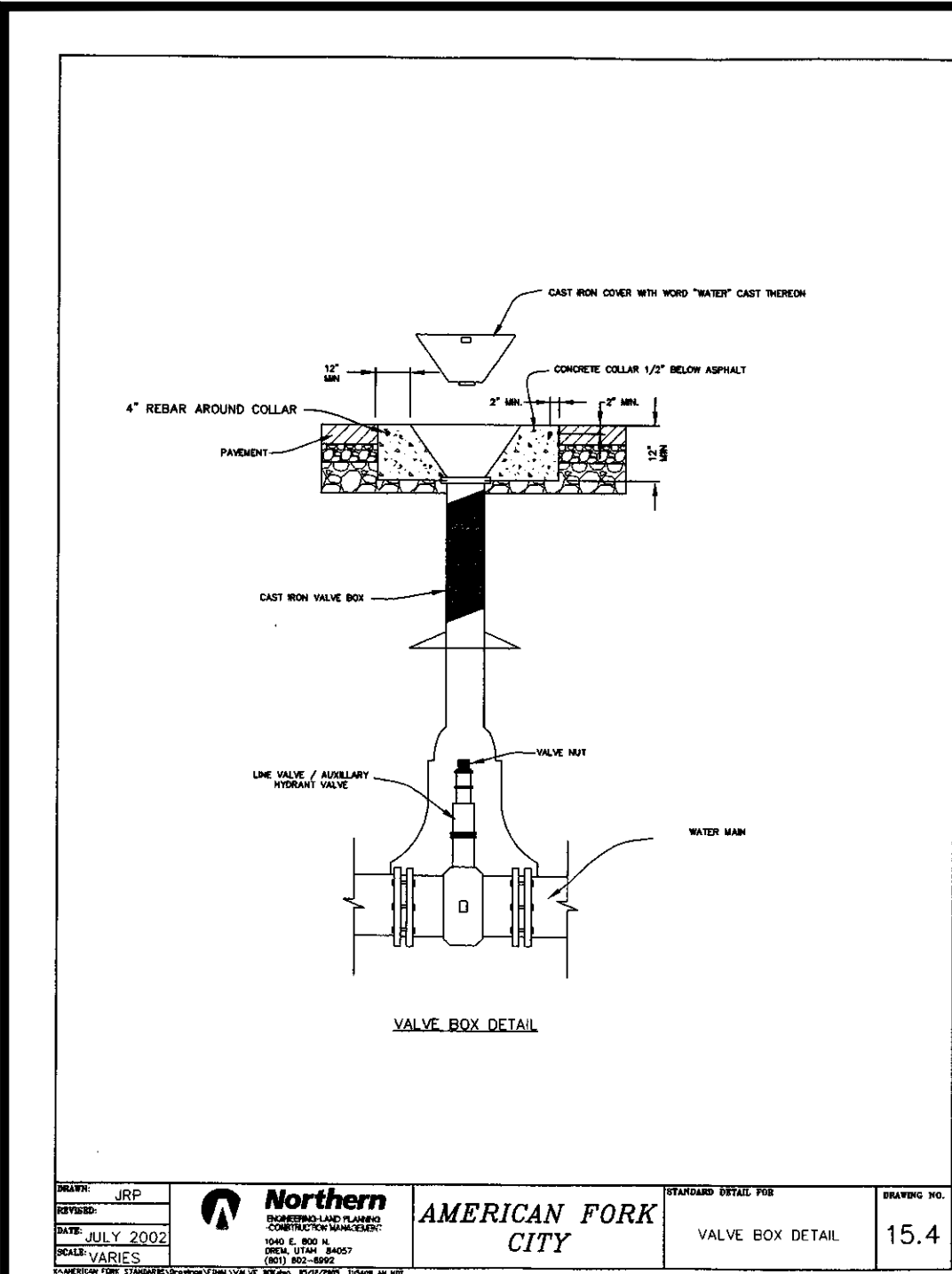
SHEET NO.
C3.0

PROJECT ID: R1033-01
FILE NAME: PRJ-RC4

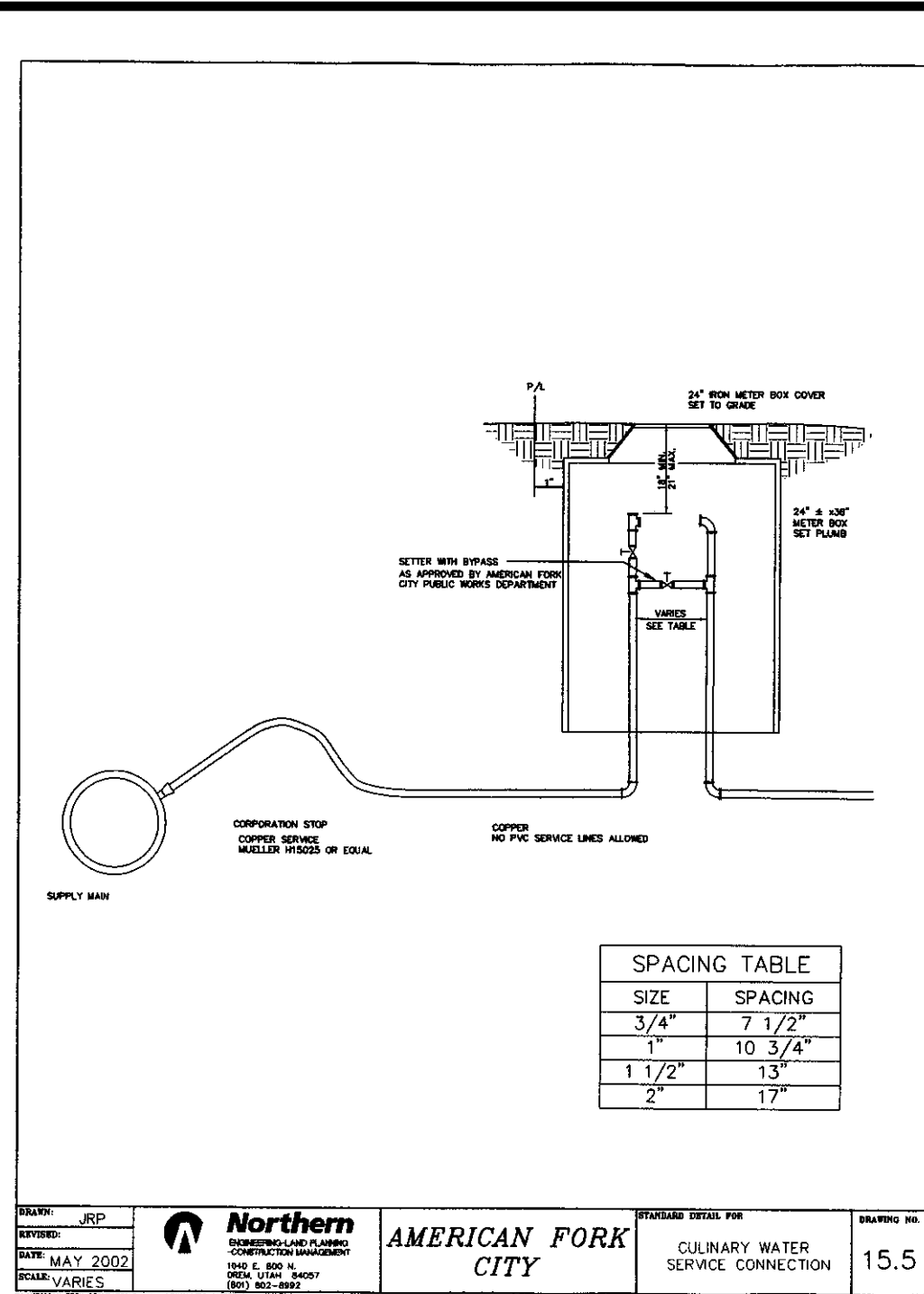
DATE: 05/15/21
SCALE: 1"=40'

Packet Pg. 27

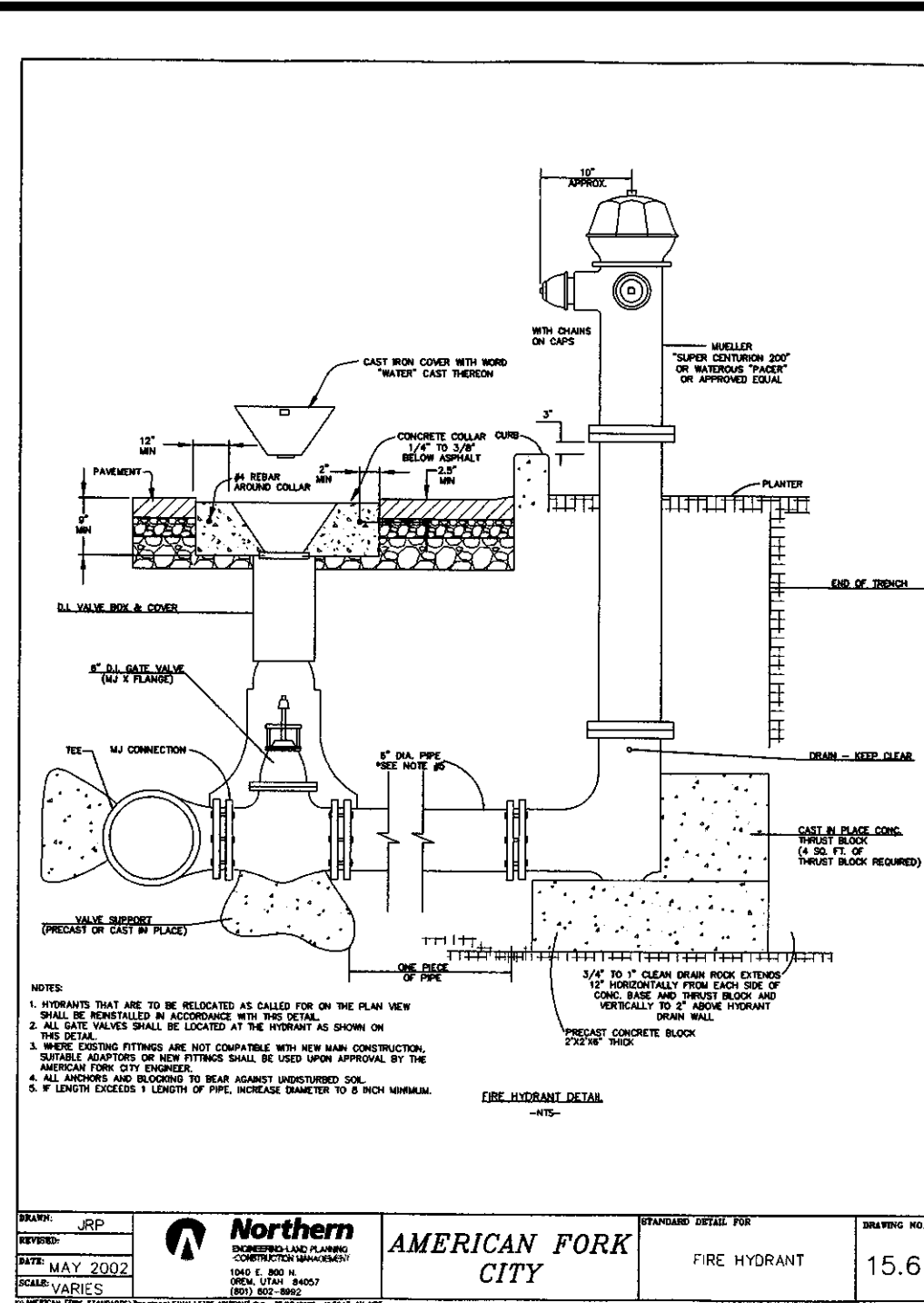




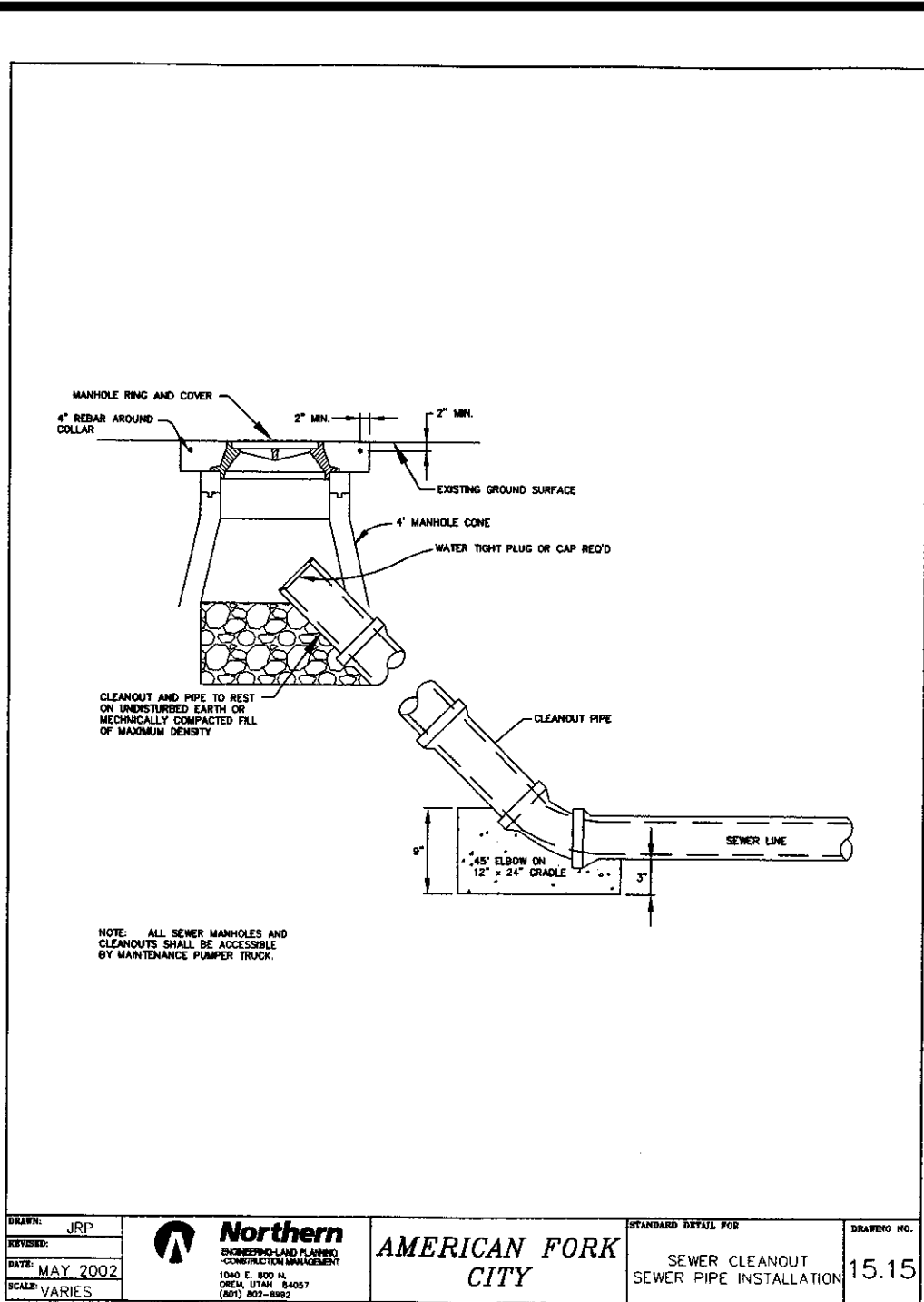
15.4 VALVE BOX DETAIL



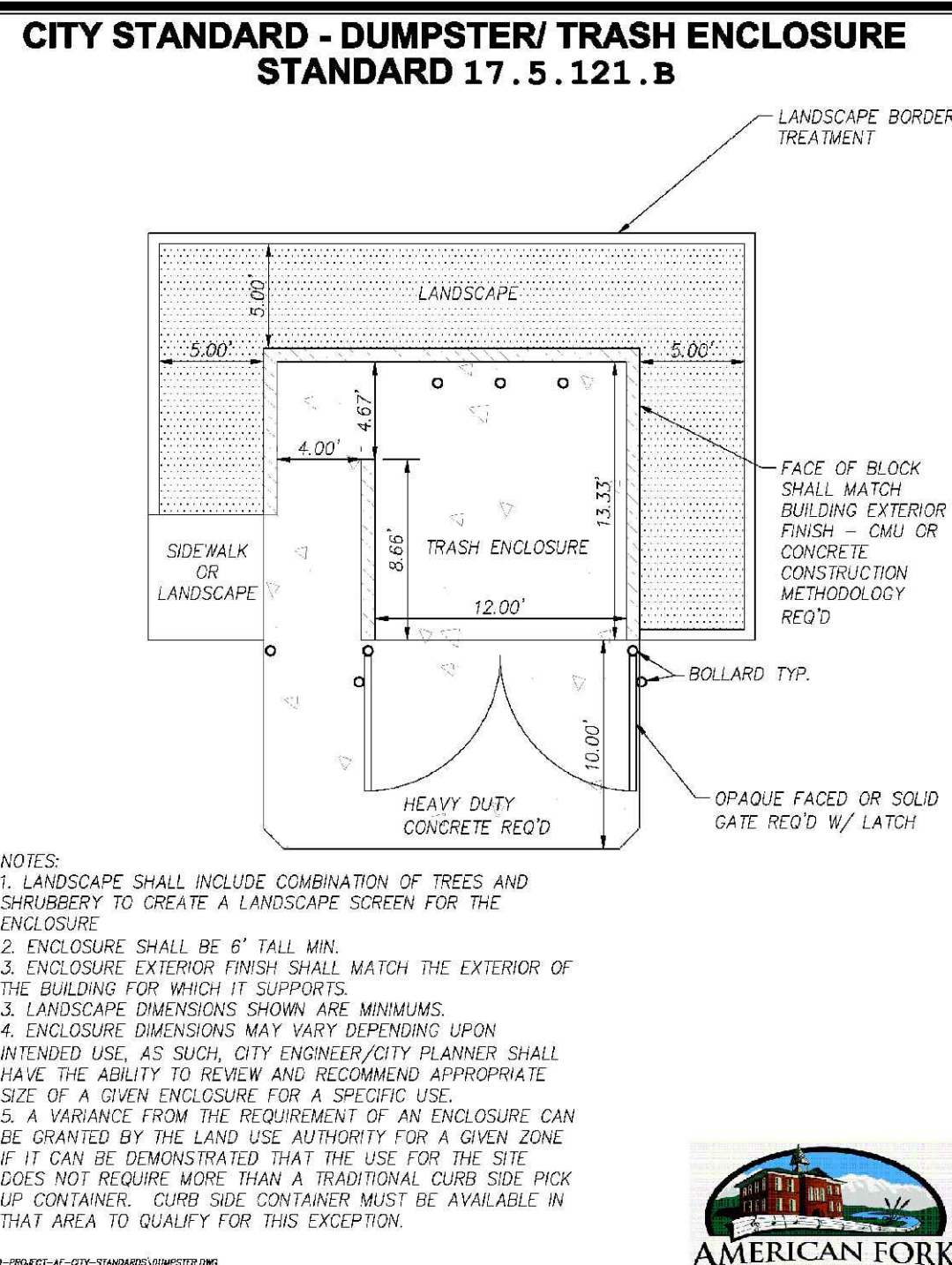
15.5 CULINARY WATER SERVICE CONNECTION



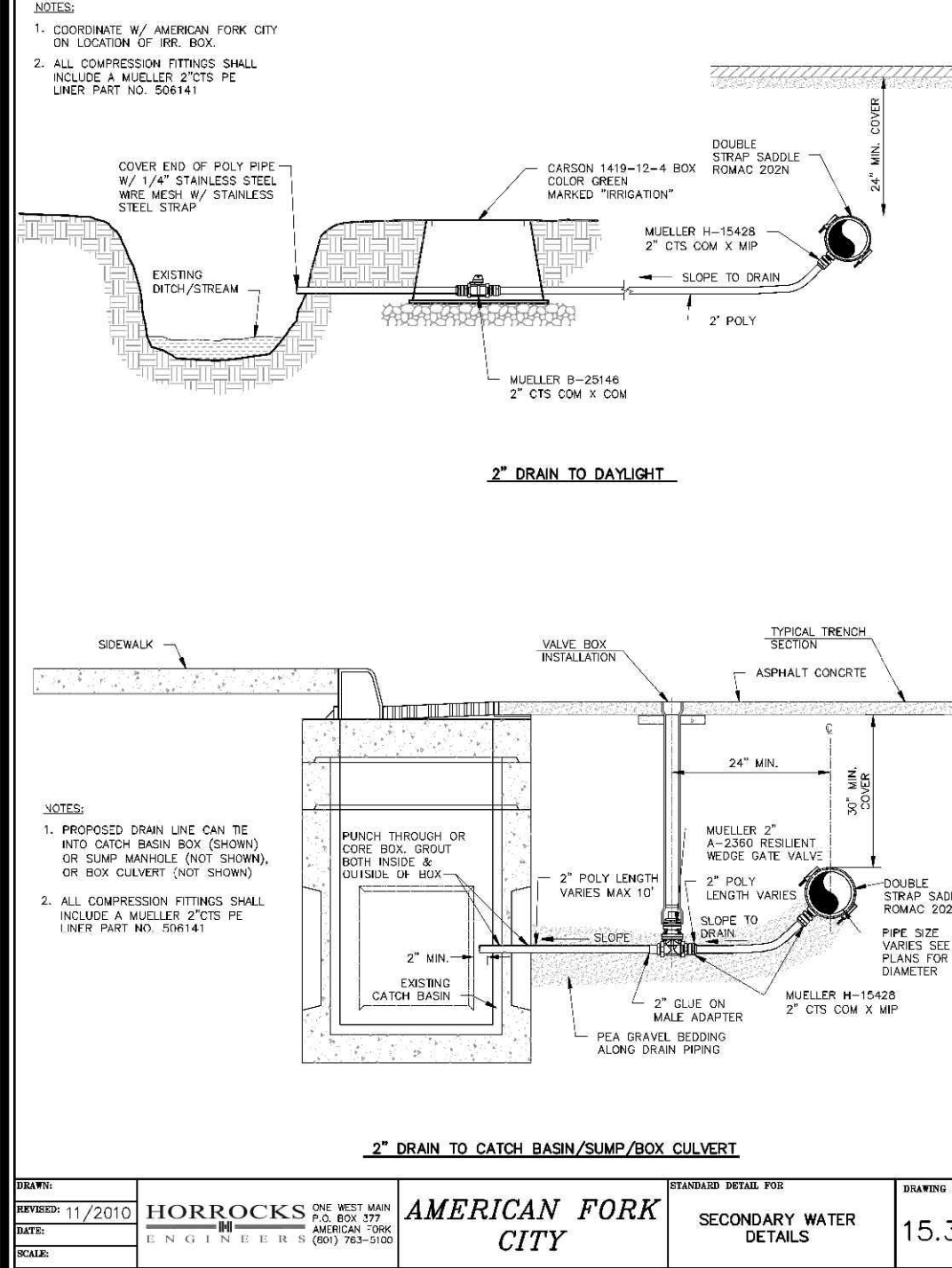
15.6 FIRE HYDRANT



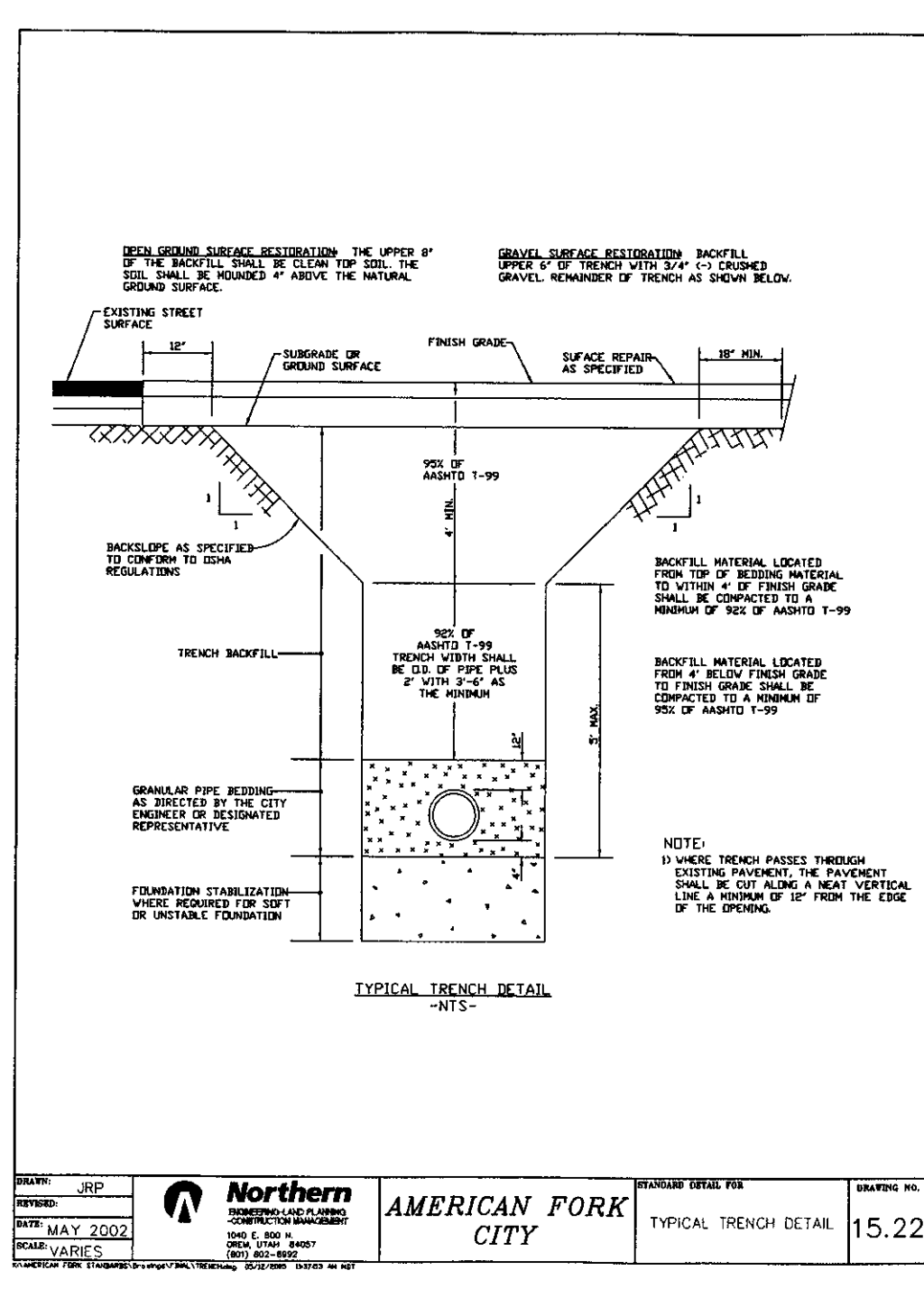
15.15 SEWER CLEANOUT



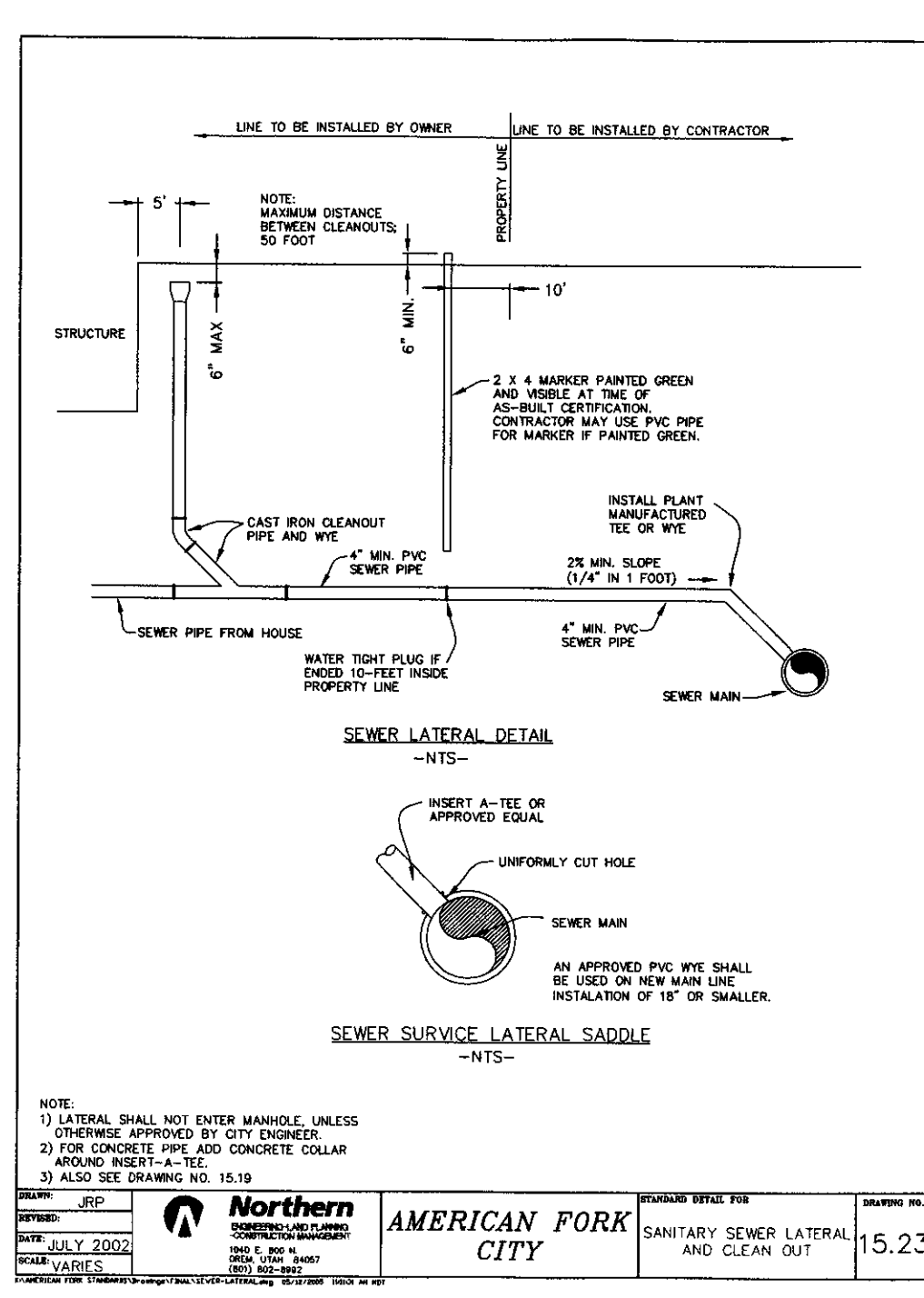
15.15 CITY STANDARD - DUMPSTER/TRASH ENCLOSURE



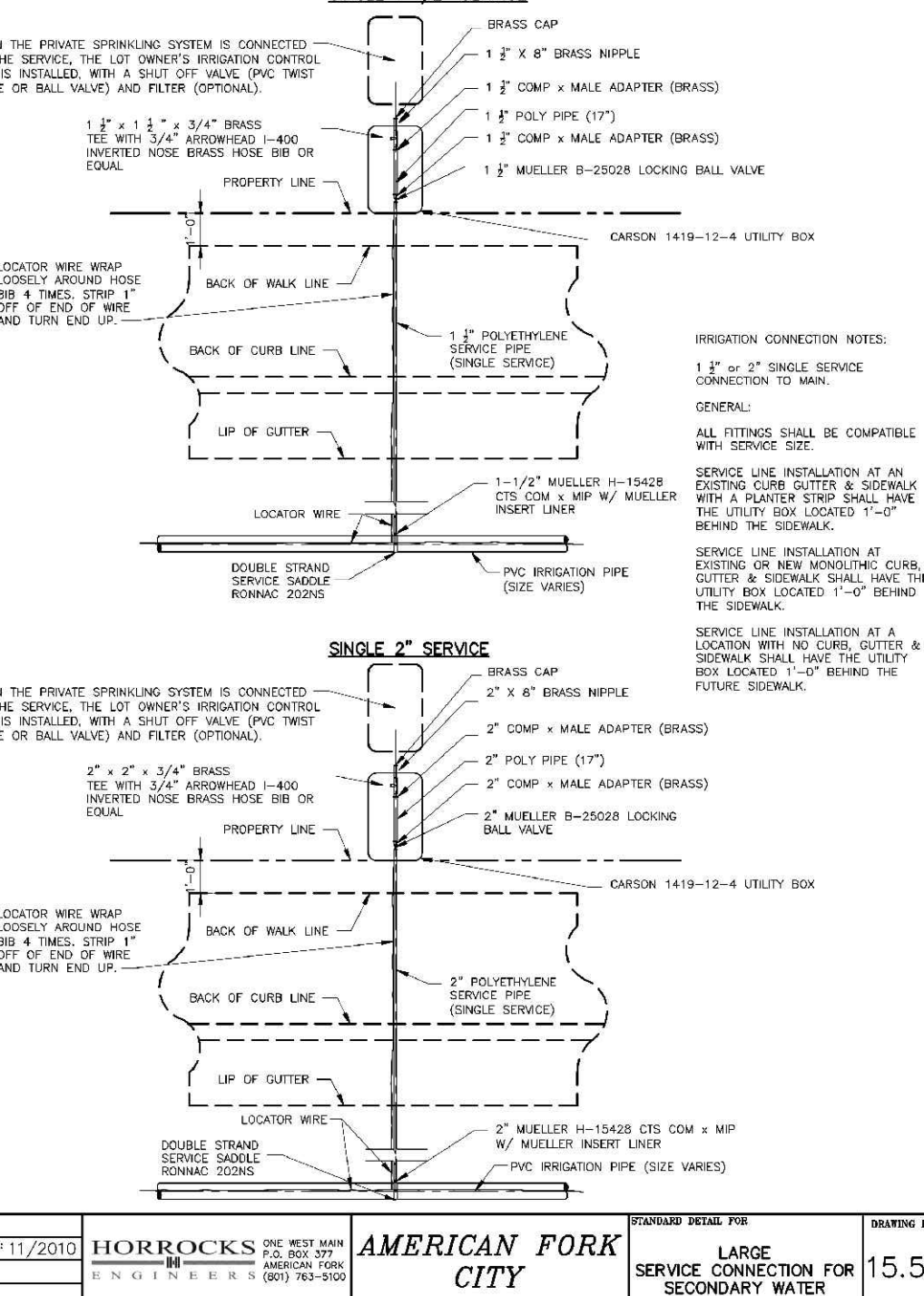
15.31 2\"/>



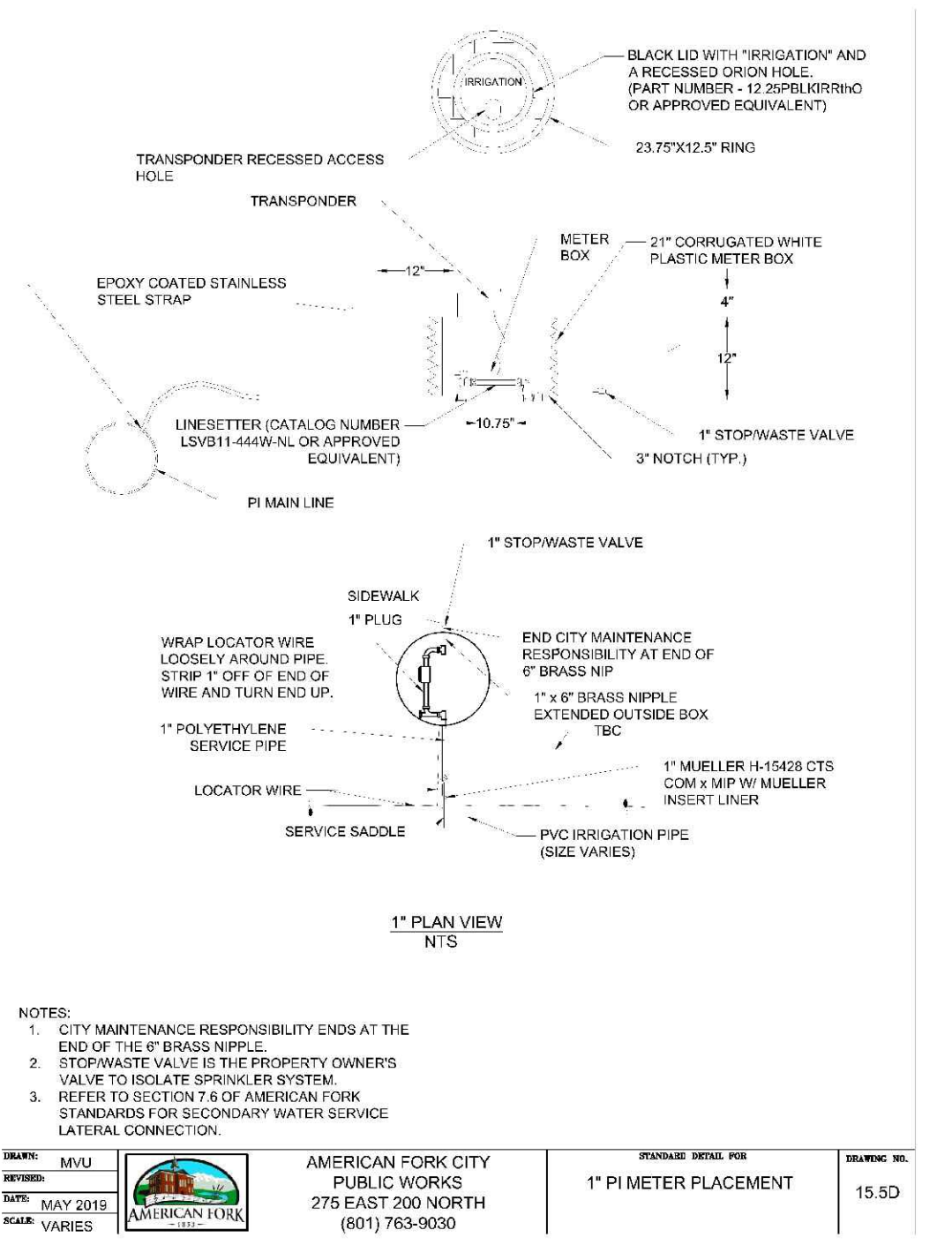
15.22 TYPICAL TRENCH DETAIL



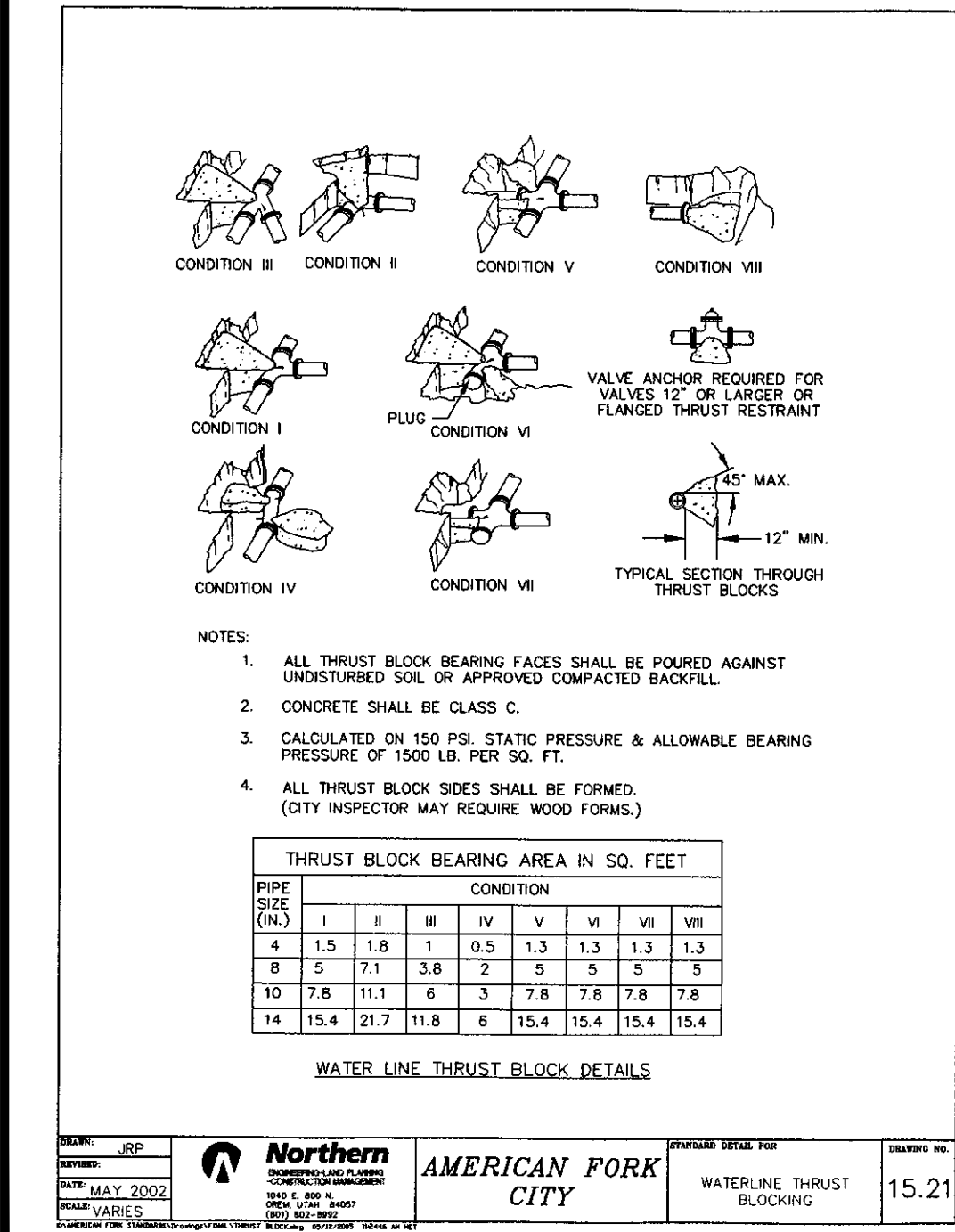
15.23 SEWER SERVICE LATERAL



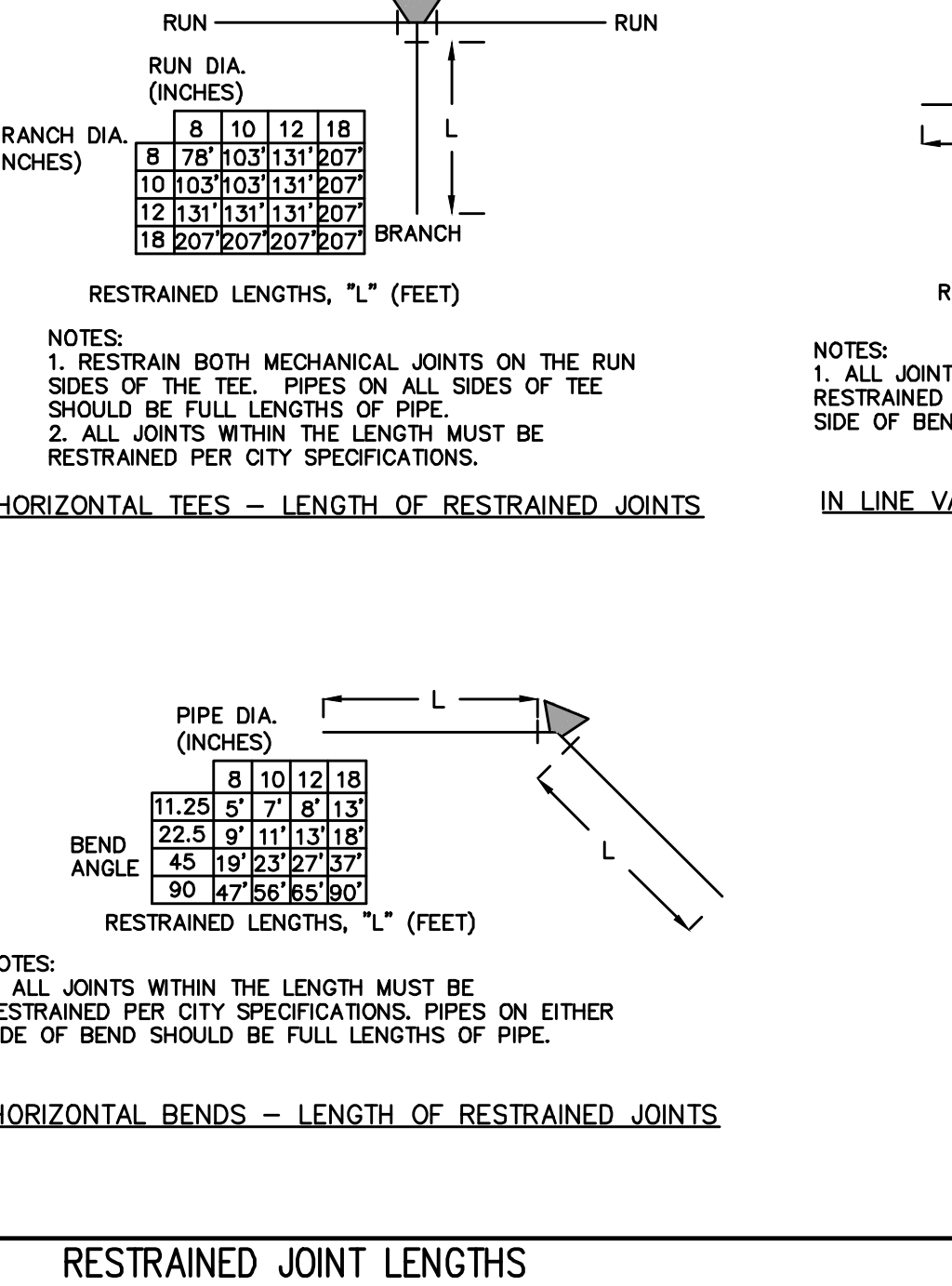
15.5B LARGE SERVICE CONNECTION FOR SECONDARY WATER



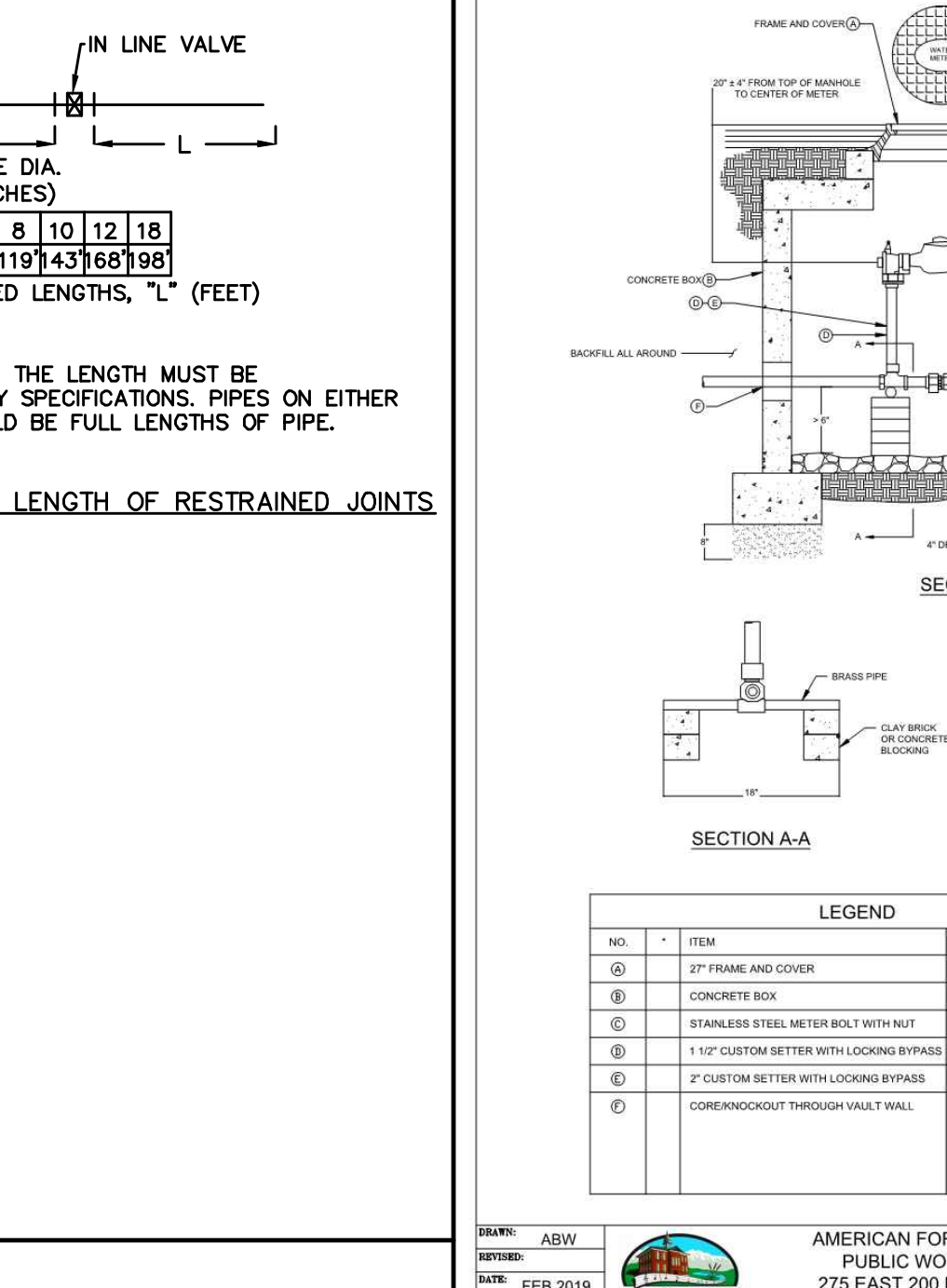
15.5D 1\"/>



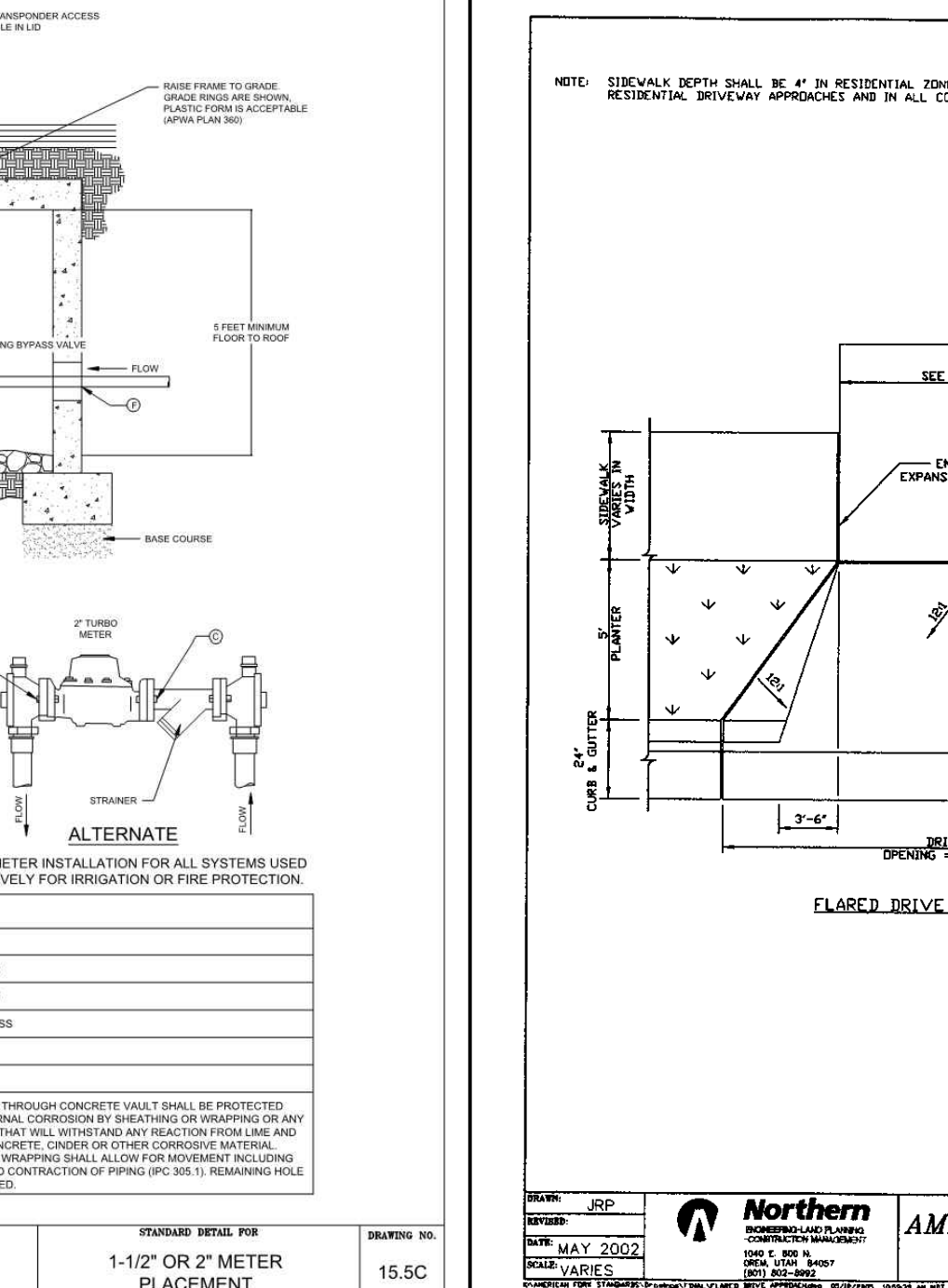
15.21 WATER LINE THRUST BLOCK DETAILS



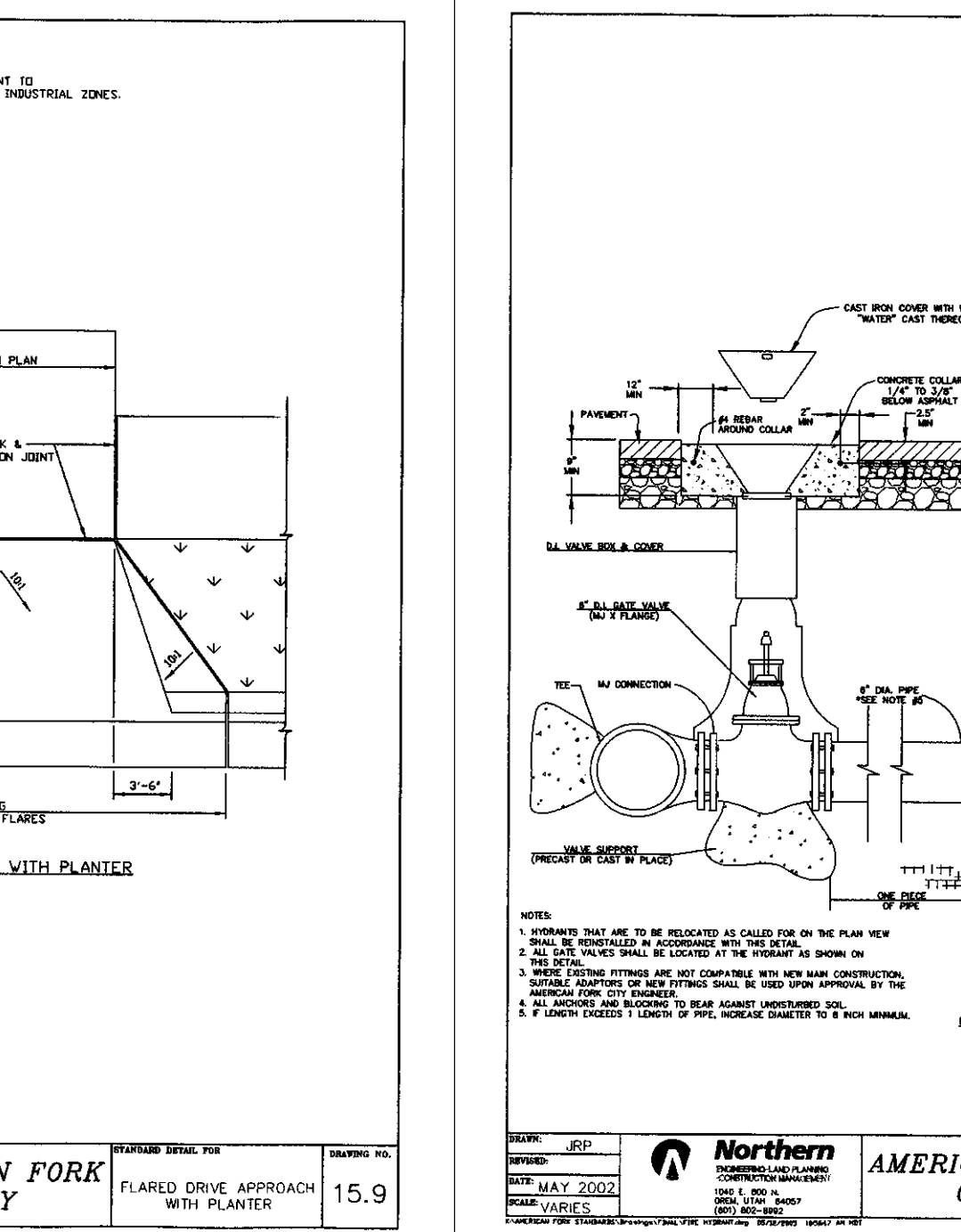
15.22 RESTRAINED JOINT LENGTHS



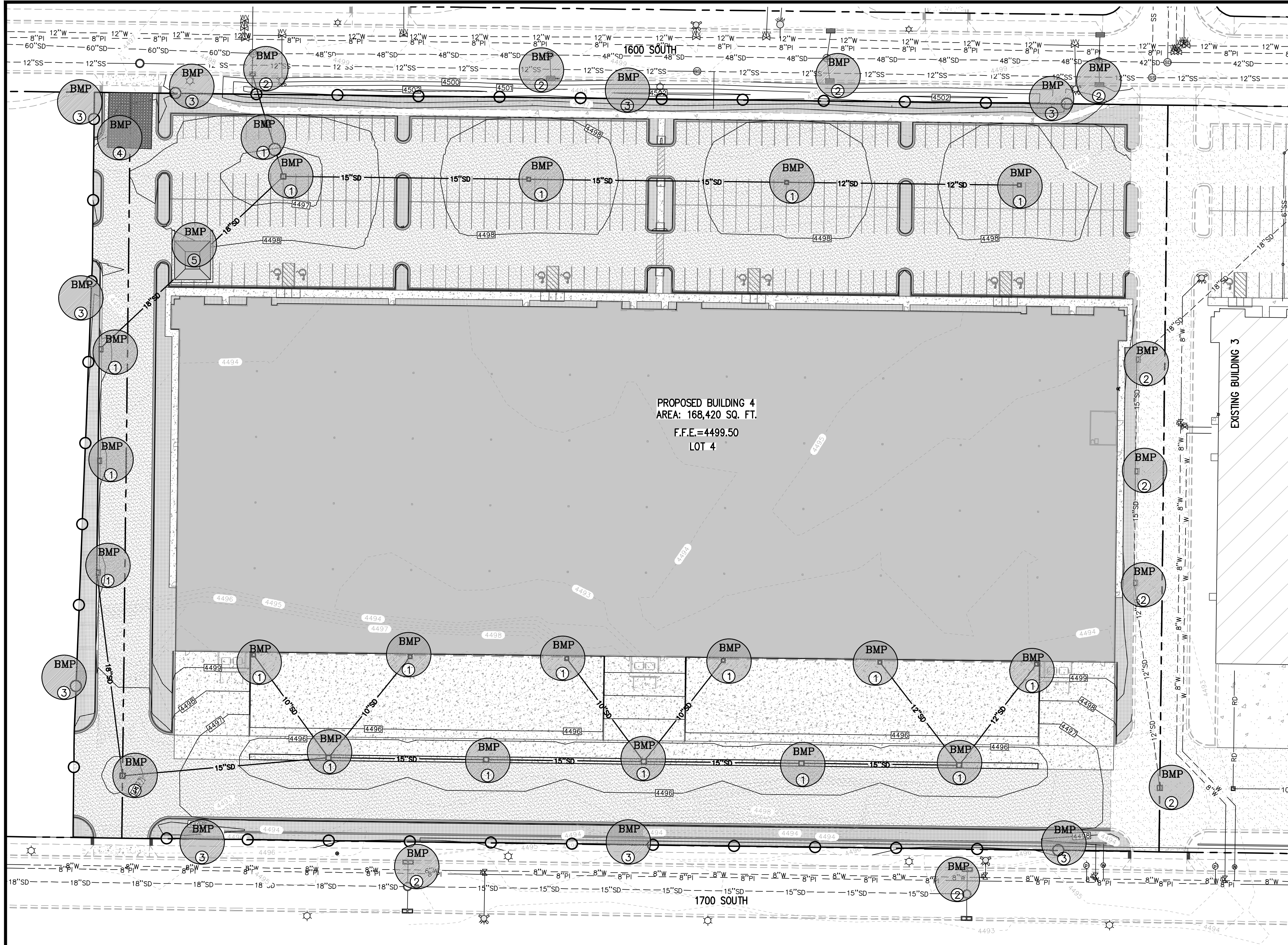
15.23 IN LINE VALVE



15.5C FLARED DRIVE APPROACH WITH PLANTER

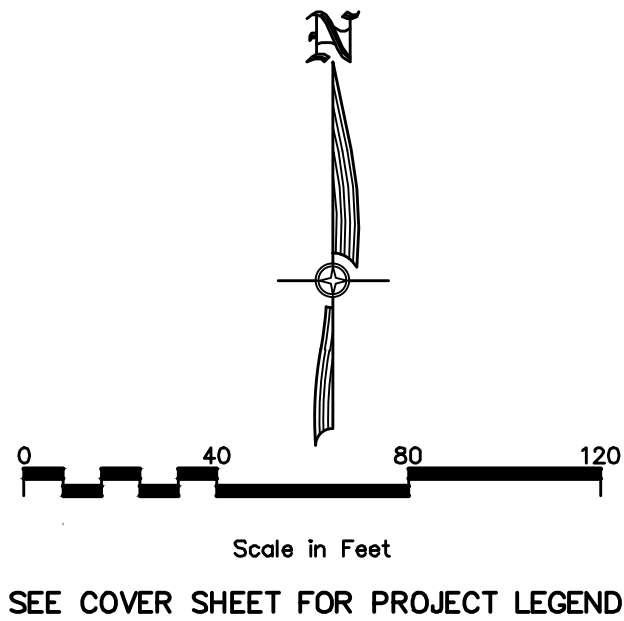


15.6 FIRE HYDRANT



BMP CALLOUTS

1. PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES.
NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN GUTTER AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.
2. PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. *SEE NOTE IN CALLOUT 1.*
3. INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.
4. CONTRACTOR TO INSTALL A MINIMUM OF 6" DEEP GRAVEL (3" TO 6") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFSITE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
5. CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.



DURING CONSTRUCTION

1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (MINIMUM ONCE A WEEK) AND AFTER EVERY STORM EVENT
2. CONTRACTOR TO KEEP LAND DISTURBANCE TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS
7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
8. CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE MAY BE USED IF APPROVED BY CITY.
9. IF GROUND WATER IS ENCOUNTERED DURING THE CONSTRUCTION ACTIVITIES AND REQUIRES PUMPING OFF THE PROJECT, THE CONTRACTOR IS TO FILTER THE WATER THROUGH THE USE OF SAND BAGS AND/OR GEO FABRIC. THIS IS TO BE DONE PRIOR TO IT BEING INTRODUCED INTO THE PUBLIC STORM DRAIN SYSTEM.
10. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

POST CONSTRUCTION

1. EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE
2. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN ESTABLISHED
3. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE
4. THE FOLLOWING PRECAUTIONS SHALL BE PERFORMED:
 - A) PERIODIC INSPECTION OF CATCH BASIN SEDIMENT TRAPS AND CLEANING WHEN THE BASIN IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GREASE OR OIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS
 - B) LITTER, DEBRIS AND CHEMICALS MUST BE PICKED UP AND KEPT IN A CONTAINED LOCATION TO PREVENT POLLUTION OF STORM WATER DISCHARGE
 - C) PARKING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS THAT COULD WASH INTO THE STORM DRAIN SYSTEM

10/09/21
10/11/21
10/07/21

1
2
3

COMMENTS
COMMENTS
COMMENTS

NO
NO
NO

REVISIONS

BY DATE

DESIGNER: TLH
PROJECT ENGINEER: TLH

10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296

CIVIL ENGINEERING
+ SURVEYING

CIR

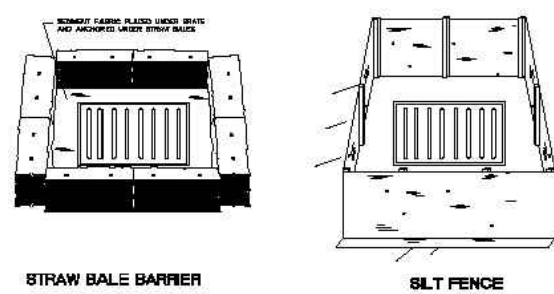

PROFESSIONAL ENGINEER
No. 12072623
TREVOR L. HODGSON
STATE OF UTAH

SHEET NO.
C6.0

PROJECT ID: R1033-01
DATE: 05/15/21
FILE NAME: PRJ-RC4
SCALE: 1"=40'

RODERICK CATALYST-BUSINESS PARK BUILDING #4
346 EAST 1600 SOUTH, AMERICAN FORK, UT 84003
EROSION CONTROL PLAN (SWPPP)

Attachment: 02.08.22 - Roderick Catalyst Building 4 - site plan (Roderick Catalyst Business Park Building 4 site plan)

BMP: Inlet Protection - Silt Fence or Straw Bale	
<p>INLET PROTECTION</p>  <p>STRAW BALE BARRIER</p> <p>SILT FENCE</p> <p>SEE INDIVIDUAL BMP INFORMATION SHEETS FOR INSTRUCTIONS FOR CONSTRUCTION OF STRAW BALE BARRIER AND SILT FENCE.</p>	<p>OBJECTIVES</p> <ul style="list-style-type: none"> ☐ Housekeeping Practices ☐ Contain Waste ☐ Minimize Disturbed Areas ☐ Stabilize Disturbed Areas ☐ Protect Slopes/Channels ☐ Control Site Perimeter ☐ Control Internal Erosion
<p>DESCRIPTION:</p> <p>Sediment barrier erected around storm drain inlet.</p> <p>APPLICATION:</p> <p>Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection).</p> <p>INSTALLATION/APPLICATION CRITERIA:</p> <ul style="list-style-type: none"> ▶ Provide upgradient sediment controls, such as silt fence during construction of inlet. ▶ When construction of inlet is complete, erect straw bale barrier or silt fence surrounding perimeter of inlet. Follow instructions and guidelines on individual BMP information sheets for straw bale barrier and silt fence construction. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Recommended maximum contributing drainage area of one acre. ▶ Limited to inlets located in open unpaved areas. ▶ Requires shallow slopes adjacent to inlet. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Inspect inlet protection following storm event and at a minimum of once monthly. ▶ Remove accumulated sediment when it reaches 4-inches in depth. ▶ Repair or realign barrier/fence as needed. ▶ Look for bypassing or undercutting and recompact soil around barrier/fence as required. 	 <p>ADAPTED FROM SALT LAKE COUNTY BMP FACTSHEET</p> <p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> ■ Sediment ■ Nutrients ■ Toxic Materials ■ Oil & Grease ■ Flocculable Materials ■ Other Waste <p>■ High Impact ☒ Medium Impact ☐ Low or Unknown Impact</p> <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> ■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training <p>■ High ☒ Medium ☐ Low</p>

BMP: Inlet Protection - Gravel

DESCRIPTION:

Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:

Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

INSTALLATION/APPLICATION CRITERIA:

- ▶ Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- ▶ Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- ▶ Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

LIMITATIONS:

- ▶ Recommended for maximum drainage area of one acre.
- ▶ Excess flows may bypass the inlet requiring down gradient controls.
- ▶ Ponding will occur at inlet.

MAINTENANCE:

- ▶ Inspect inlet protection after every large storm event and at a minimum of once monthly.
- ▶ Remove sediment accumulated when it reaches 4-inches in depth.
- ▶ Replace filter fabric and clean or replace gravel if clogging is apparent.

OBJECTIVES

- ☐ Housekeeping Practices
- ☐ Contain Waste
- ☐ Minimize Disturbed Areas
- ☐ Stabilize Disturbed Areas
- ☐ Protect Slopes/Channels
- ☐ Control Site Perimeter
- ☐ Control Internal Erosion

ADAPTED FROM SALT LAKE COUNTY BMP FACTSHEET

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

- High Impact
- ☐ Medium Impact
- ☐ Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- ☐ Medium
- ☐ Low

BMP: Inlet Protection - Excavated

DESCRIPTION:

An area excavated around a storm drain inlet to impound water below the inlet.

APPLICATION:

Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection).

INSTALLATION/APPLICATION CRITERIA:

- ▶ Provide upgradient sediment controls, such as silt fence during construction of inlet.
- ▶ When construction of inlet is complete, excavate adjacent area 1 to 2 feet lower than the grate elevation. Size of excavated area should be based on soil type and contributing acreage.

LIMITATIONS:

- ▶ Recommended maximum contributing drainage area of one acre.
- ▶ Limited to inlets located in open unpaved areas.
- ▶ Requires flat area adjacent to inlet.

MAINTENANCE:

- ▶ Inspect inlet protection following storm event and at a minimum of once monthly.
- ▶ Remove accumulated sediment when it reaches one half of the excavated sump below the grate.
- ▶ Repair side slopes as required.

OBJECTIVES

- ☐ Housekeeping Practices
- ☐ Contain Waste
- ☐ Minimize Disturbed Areas
- ☐ Stabilize Disturbed Areas
- ☐ Protect Slopes/Channels
- ☐ Control Site Perimeter
- ☐ Control Internal Erosion

ADAPTED FROM SALT LAKE COUNTY BMP FACTSHEET

TARGETED POLLUTANTS

- Sediment
- ☐ Nutrients
- ☐ Toxic Materials
- ☐ Oil & Grease
- Floatable Materials
- ☐ Other Waste

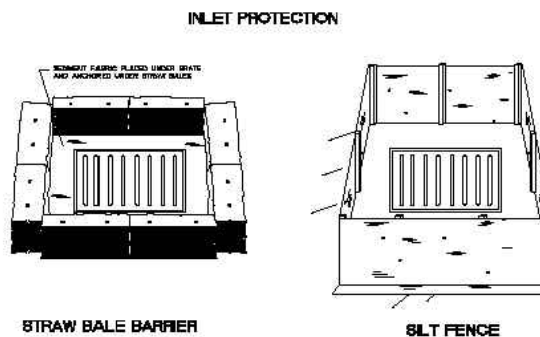

- High Impact
- ☒ Medium Impact
- ☐ Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- ☐ Capital Costs
- ☐ O&M Costs
- ☐ Maintenance
- ☐ Training

- High
- ☒ Medium
- ☐ Low

BMP: Catch Basin Cleaning	
<p>A black silhouette illustration showing a person standing next to a large truck, using a long hose to clean a rectangular catch basin. The background is white.</p>	
DESCRIPTION: Maintain catch basin and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basins' sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having at its base a sediment sump designed to catch and retain sediments below the overflow point. This information sheet focuses on the cleaning of accumulated sediments from catch basins.	
APPROACH: Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the key to effective catch basins are: <ul style="list-style-type: none"> ▪ At least annual inspections, ▪ Prioritize maintenance to clean catch basins and inlets in areas with the highest pollutant loading, ▪ Clean catch basins in high pollutant load areas just before the wet season to remove sediments and debris accumulated during the summer, ▪ Keep accurate logs of the number of catch basins cleaned, ▪ Record the amount of waste collected. 	
LIMITATIONS: There are no major limitations to this best management practice.	
MAINTENANCE: Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are: <ul style="list-style-type: none"> ▪ Annual/monthly inspection of public and private facilities to ensure structural integrity, a clean sump, and a stenciling of catch basins and inlets, ▪ Keep logs of the number of catch basins cleaned, ▪ Record the amount of waste collected. 	
<div> <div> <p>ADAPTED FROM SALT LAKE COUNTY BMP FACTSHEET</p> </div> <div> <p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> ■ Sediment ■ Nutrients ■ Heavy Metals ■ Toxic Materials ■ Oxygen Demanding Substances ■ Oil & Grease ■ Floatable Materials ■ Bacteria & Viruses </div> </div>	
<div> <div> <ul style="list-style-type: none"> ■ High Impact ■ Medium Impact □ Low or Unknown Impact </div> <div> <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> ☑ Capital Costs ☑ O&M Costs ☑ Regulatory ☑ Training ☑ Staffing ☑ Administrative </div> </div>	
<div> <div> <ul style="list-style-type: none"> ■ High ☒ Medium □ Low </div> </div>	

BMP: Inlet Protection - Silt Fence or Straw Bale	IPS
<div data-bbox="1028 1148 1266 1297">  <p>The diagram illustrates two methods of inlet protection. On the left, a 'STRAW BALE BARRIER' is shown as a row of bales across a storm drain inlet. On the right, a 'SILT FENCE' is shown as a fabric barrier with vertical slats across the inlet. Arrows indicate the flow of water from the street into the inlet.</p> </div> <div data-bbox="1031 1312 1236 1326"> <p>SEE INDIVIDUAL BMP INFORMATION SHEETS FOR INSTRUCTIONS FOR CONSTRUCTION OF STRAW BALE BARRIER AND SILT FENCE.</p> </div>	<div data-bbox="1458 1169 1519 1181"> <p>OBJECTIVES</p> </div> <div data-bbox="1397 1195 1547 1291"> <ul style="list-style-type: none"> ☐ Housekeeping Practices ☐ Contain Waste ☐ Minimize Disturbed Areas ☐ Stabilize Disturbed Areas ☐ Protect Slopes/Channels ☐ Control Site Perimeter ☐ Control Internal Erosion </div>
<div data-bbox="933 1361 1202 1389"> <p>DESCRIPTION: Sediment barrier erected around storm drain inlet.</p> </div> <div data-bbox="933 1406 1388 1447"> <p>APPLICATION: Construct at storm drainage inlets located downgradient of areas to be disturbed by construction (for inlets in paved areas see other information sheets for inlet protection)</p> </div> <div data-bbox="933 1463 1376 1547"> <p>INSTALLATION/APPLICATION CRITERIA:</p> <ul style="list-style-type: none"> ➤ Provide upgradient sediment controls, such as silt fence during construction of inlet. ➤ When construction of inlet is complete, erect straw bale barrier or silt fence surrounding perimeter of inlet. Follow instructions and guidelines on individual BMP information sheets for straw bale barrier and silt fence construction. </div> <div data-bbox="933 1563 1318 1620"> <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ➤ Recommended maximum contributing drainage area of one acre. ➤ Limited to inlets located in open unpaved areas. ➤ Requires shallow slopes adjacent to inlet. </div> <div data-bbox="933 1637 1382 1733"> <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ➤ Inspect inlet protection following storm event and at a minimum of once monthly. ➤ Remove accumulated sediment when it reaches 4-inches in depth. ➤ Repair or realign barrier/fence as needed. ➤ Look for bypassing or undercutting and recompact soil around barrier/fence as required. </div>	<div data-bbox="1419 1361 1547 1483">  </div> <div data-bbox="1403 1494 1568 1502"> <p>ADAPTED FROM SALT LAKE COUNTY BMP FACTSHEET</p> </div> <div data-bbox="1437 1522 1538 1535"> <p>TARGETED POLLUTANTS</p> </div> <div data-bbox="1397 1547 1510 1624"> <ul style="list-style-type: none"> ■ Sediment <ul style="list-style-type: none"> ■ Nutrients ■ Toxic Materials ■ Oil & Grease ■ Floatable Materials ■ Other Waste </div>
	<div data-bbox="1397 1665 1529 1708"> <ul style="list-style-type: none"> ■ High Impact ■ Medium Impact □ Low or Unknown Impact </div> <div data-bbox="1419 1737 1556 1749"> <p>IMPLEMENTATION REQUIREMENTS</p> </div> <div data-bbox="1397 1757 1480 1815"> <ul style="list-style-type: none"> ■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training </div> <div data-bbox="1397 1860 1568 1872"> <p>■ High ■ Medium □ Low</p> </div>

BMP: Silt Fence

SF

DESCRIPTION:

A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- ▶ Perimeter control: place barrier at downgradient limits of disturbance
- ▶ Sediment barrier: place barrier at toe of slope or soil stockpile
- ▶ Protection of existing waterways: place barrier near top of stream bank
- ▶ Inlet protection: place fence surrounding catchbasins

INSTALLATION/APPLICATION CRITERIA:

- ▶ Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- ▶ Secure wire mesh (14 gauge min. With 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
- ▶ Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- ▶ Backfill trench over filter fabric to anchor.

LIMITATIONS:

- ▶ Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- ▶ Recommended maximum upgradient slope length of 150 feet
- ▶ Recommended maximum uphill grade of 2:1 (50%)
- ▶ Recommended maximum flow rate of 0.5 cfs
- ▶ Ponding should not be allowed behind fence

MAINTENANCE:

- ▶ Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- ▶ Look for runoff bypassing ends of barriers or undercutting barriers.
- ▶ Repair or replace damaged areas of the barrier and remove accumulated sediment.
- ▶ Reanchor fence as necessary to prevent shortcutting.
- ▶ Remove accumulated sediment when it reaches $\frac{1}{2}$ the height of the fence.

OBJECTIVES

- ☐ Housekeeping Practices
- ☐ Contain Waste
- ☐ Minimize Disturbed Areas
- ☐ Stabilize Disturbed Areas
- ☐ Protect Slopes/Channels
- ☐ Control Site Perimeter
- ☐ Control Internal Erosion

ADAPTED FROM DULUTE COUNTY BMP FACTSHEET

TARGETED POLLUTANTS

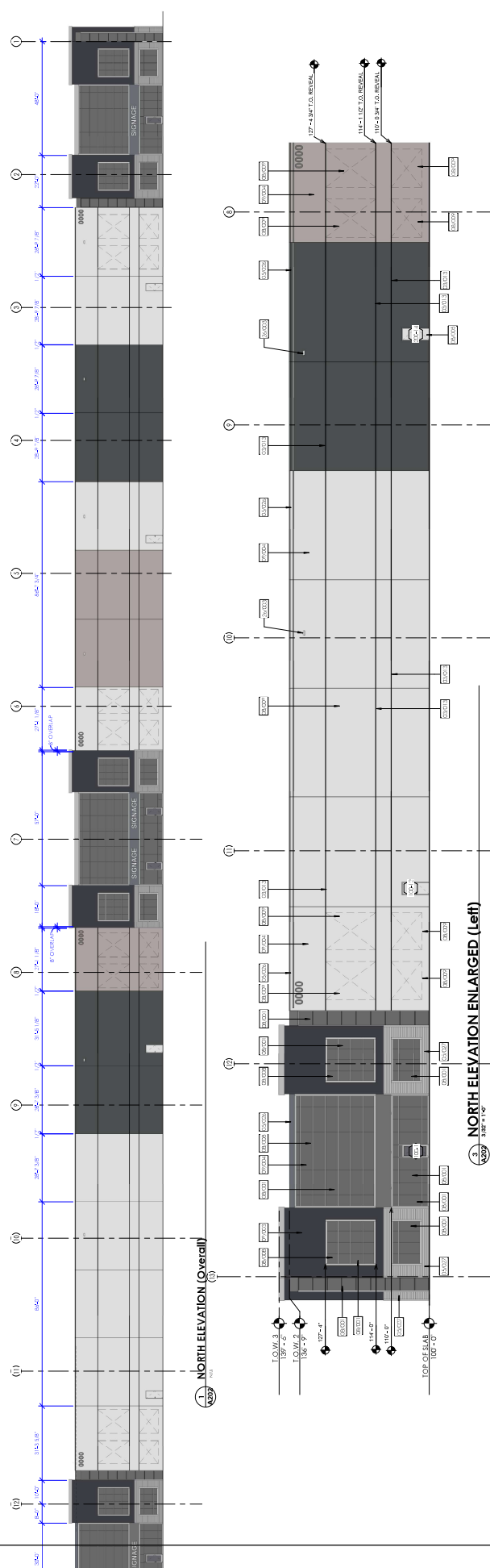
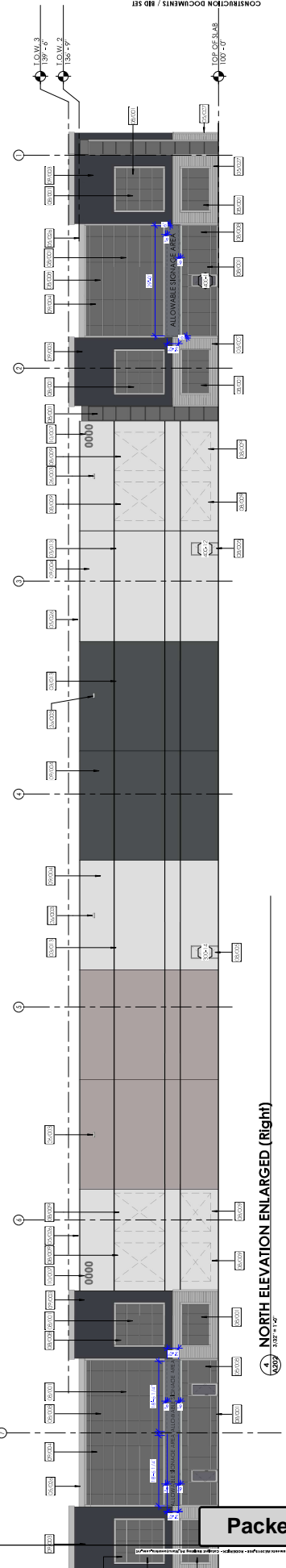
- ☐ Sediment
- ☐ Nutrients
- ☐ Toxic Materials
- ☐ Oil & Grease
- ☐ Floatable Materials
- ☐ Other Waste

- ☐ High Impact
- ☐ Medium Impact
- ☐ Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS











- Capital Costs
- O&M Costs
- Maintenance
- Training

- High
- Medium
- Low



KEYNOTE LEGEND	
03.013	CONCRETE WALL REVEAL
05.025E	METAL PARAPET WALL CAP
05.027	HORIZONTAL SILVER METAL PANELS
08.001	STORAGE WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL
08.002	STORAGE WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL
08.005	MEDIUM/HIGH REFLECTIVITY PROVIDE SAMPLE FOR APPROVAL
08.007	K.O.P. - SEE PANEL ELEVATION SHEETS
09.003	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - COLOR TBA - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO TEST PANEL
09.004	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - COLOR TBA - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO TEST PANEL
10.003	BUILDING ADDRESS LOCATION
12.007	OUTSIDE WALL LIGHT FEATURE, SEE ELECTRICAL

EXTERIOR ELEVATION COLOR:

-  WHITE (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  DARK GREY (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  MEDIUM GREY (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  LIGHT GREY (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  DARK BROWN (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  MEDIUM BROWN (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  LIGHT BROWN (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  DARK BLUE (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  MEDIUM BLUE (TO COORDINATE WITH INTERIOR COLOR OF DOOR)
-  LIGHT BLUE (TO COORDINATE WITH INTERIOR COLOR OF DOOR)

GENERAL EXTERIOR FINISH NOTES:

- 1. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 2. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 3. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 4. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 5. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 6. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 7. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 8. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 9. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.
- 10. THE EXTERIOR FINISH OF THE DOOR SHALL BE TO MATCH THE INTERIOR FINISH OF THE DOOR.

PRELIMINARY
NOT FOR
CONSTRUCTION

6/16/2021 7:44:10 AM

RODERICK CATALYST BUILDING #4
346 EAST 1600 SOUTH, AMERICAN FORK, UTAH 84003

AE2019.068

**NORTH
ELEVATIONS**

DATE 01/13/2021

SET 0:

A20

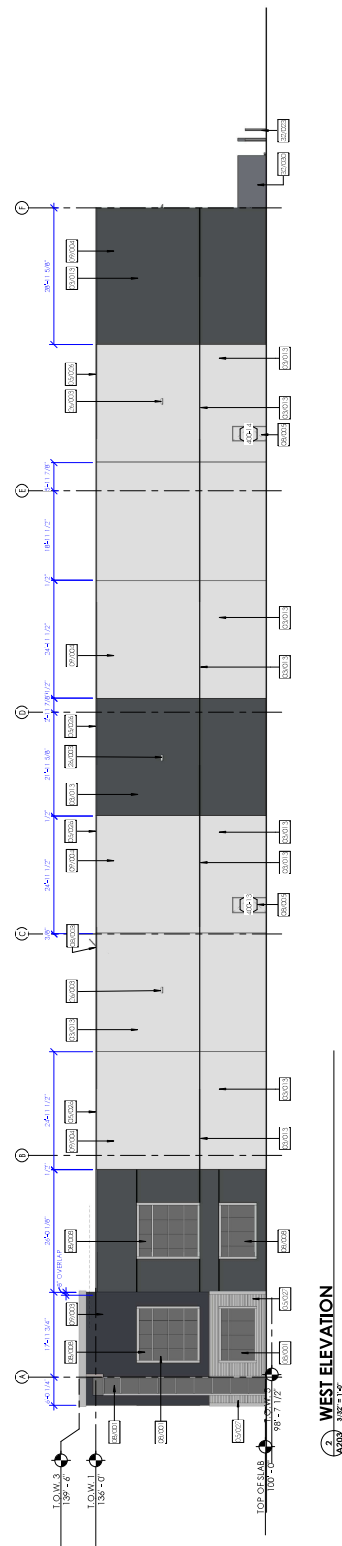
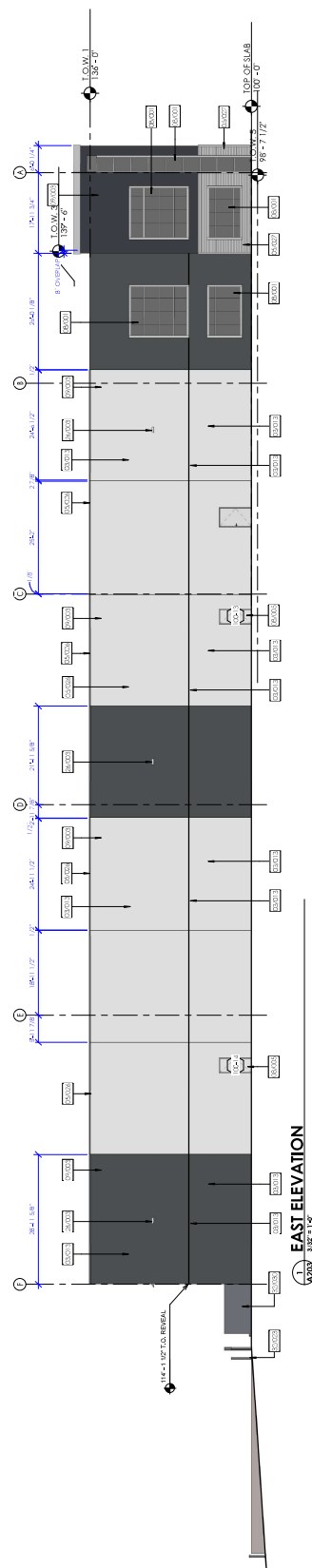
COPIES
AEL

COPIES
AEL

PRELIMINARY
NOT FOR
CONSTRUCTION

6/16/2021 7:44:17 AM

RODERICK CATALYST BUILDING #4
346 EAST 1600 SOUTH, AMERICAN FORK, UTAH 84003



② WEST ELEVATION

AE2019.068
EAST & WEST
ELEVATION

DATE 01/13/2021

47

A20

5.5.b

**AMERICAN FORK CITY
PLANNING COMMISSION**
MEETING DATE: January 19th, 2022
STAFF: Patrick O'Brien

AGENDA TOPIC: Hearing, review and action on a site plan for Roderick Catalyst Business Park Building 4 located in the area of 346 East 1600 South, in the PI-1 Planned Industrial zone

BACKGROUND INFORMATION				
Location:		346 East 1600 South		
Applicants:		Roderick Enterprises		
Existing Land Use:		Design Industrial		
Proposed Land Use:				
Surrounding Land Use:	North	Design Industrial		
	South	Design Industrial		
	East	Design Industrial		
	West	Design Industrial		
Existing Zoning:		PI-1		
Proposed Zoning:				
Surrounding Zoning:	North	PI-1		
	South	PI-1		
	East	I-1 & PI-1		
	West	PI-1		
Land Use Plan Designation:		Design Industrial		
Zoning within Land Use Plan Designation?		X	Yes	No

Background

In 2015, this area was annexed into the City under the Catalyst Annexation. This site plan represents the fourth phase in a multi-phase office-warehouse development. Phase 4 consists of 1 office-warehouse structure, totaling 168,420 sq. ft. on approximately 9.9 acres. Access points into Phase 4 will be provided off 1600 South, and 1700 South.

Parking and landscaping are provided per the City's requirements. Landscape plans have been provided in the submittal materials. Renderings of the structures are also provided in the submittal materials.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Design Industrial”. The site plan is consistent with the Land Use Plan Designation.

FINDING OF FACT

After reviewing the application for site plan approval, the following finding of fact is offered for consideration:

1. The proposed site plan meets the criteria as found in Section 17.7.701 (Planned Industrial Projects) of the Development Code.

STAFF RECOMMENDATION:

Approval

POTENTIAL MOTIONS**APPROVAL**

Mr. Chairman, I move that we recommend approval of the commercial site plan for Roderick Catalyst Business Park, Phase 4, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the commercial site plan for Roderick Catalyst Business Park, Phase 4.

TABLE

Mr. Chairman, I move that we table action on the commercial site plan for Roderick Catalyst Business Park, Phase 4.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 1/19/2022

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Roderick Catalyst Business Park Building 4

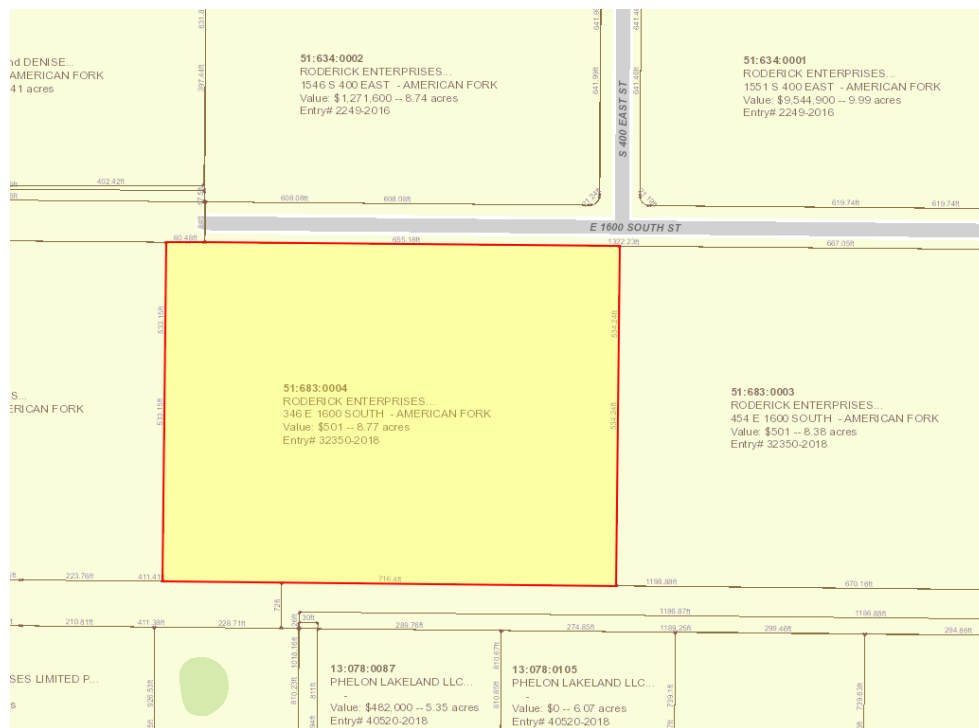
Project Address: 346 East 1600 South

Developer / Applicant's Name: Roderick Enterprises

Type of Application:

- | | | |
|--|--|--------------------------------------|
| <input type="checkbox"/> Subdivision Final Plat | <input type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input checked="" type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Project Map:



Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development with the following conditions of approval:

Attachment: 02.08.22 - Roderick Catalyst Building 4 - staff report (Roderick Catalyst Business Park Building 4 site plan)

STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

UNAPPROVED MINUTES

1. Hearing, review and action on a final plat for Timp Hollow Plat F Subdivision, consisting of 4 lots, located at approximately 1160 East 1030 North, in the R-1-9,000 zone

Mr. O'Brien told commissioners that this item relates to lots 48, 49, 50, and 51 of Timp Hollow Plat D that was previously approved. This proposed subdivision would vacate land on the west of the properties with a boundary agreement in place that would allow the neighboring development to accept the remnant pieces of land that are created into its development for a future proposal. This is a pretty straightforward development, basically it is a 6" land swap to the neighboring property.

Ms. Peay asked if Timp Hollow Plat F will be a cul-de-sac.

Mr. Hunter said there will be a road down the middle of the neighboring Autumn Crest subdivision that will go down through the Timp Hollow development, so there will be a connection.

Public Hearing Opened

No comments received.

Public Hearing Closed

Mr. Christiansen moved to recommend approval of the final plat for Timp Hollow Plat F, subject to any findings, conditions and modifications found in the engineering report.

Mr. Dudley seconded the motion. Voting was as follows:

Chairman Woffinden	Aye
Jenny Peay	Aye
Christine Anderson	Aye
Chris Christiansen	Aye
Bruce Frandsen	Aye
Harold Dudley	Aye

The motion passed.

2. Hearing, review and action on a site plan for Roderick Catalyst Business Park Building 4 located in the area of 346 East 1600 South, in the PI-1 Planned Industrial zone

Mr. O'Brien informed commissioners that in 2015, this area was annexed into the City under the Catalyst Annexation. This site plan represents the fourth plat in a multi-phase office-warehouse

UNAPPROVED MINUTES

- 1 development. Plat 4 consists of 1 office-warehouse structure, totaling 168,420 sq. ft. on
- 2 approximately 9.9 acres. Access points into Plat 4 will be provided off 1600 South and 1700
- 3 South.
- 4 Parking and landscaping are provided per the City's requirements. Landscape plans have been
- 5 provided in the submittal materials. Renderings of the structures are also provided in the
- 6 submittal materials. All the previous issues have been resolved.
- 7 Mr. Frandsen asked if there are any ditches, sloughs, drains, etc. that provide water rights to
- 8 anyone to the south.
- 9 Mr. Hunter said that applicants constructed storm drain infrastructure for Phase 1. There is an
- 10 existing slough to the west of these parcels, some of the ditch will continue to be maintained and
- 11 drainage will be discharged into it. The ditch has been verified upon initial review to handle
- 12 additional flows and not negatively affect anyone's water rights.
- 13 Mr. Frandsen said that some kind of acknowledgement might be required regarding the slough,
- 14 what mechanism does the city have in place to ensure that this happens correctly?
- 15 Mr. Hunter said that the Rogers have some water rights to the northwest of this lot, they will still
- 16 receive their water. Nothing else was identified south of the properties.
- 17 Mr. Frandsen only knows of two individuals who can certify water rights. He wonders how an
- 18 applicant can guarantee that there are no negative impacts to water rights, what is the city's
- 19 mechanism to insure that? He has concerns with both upstream and downstream property
- 20 owners. State law also prohibits anyone from messing with their runoff water downstream. This
- 21 development isn't a huge concern to him but down in this area where development is starting to
- 22 take off, they will be impacting water rights. How do we as a city guarantee that we have done
- 23 our due diligence to make sure and protect landowners? The property owner's only recourse is to
- 24 sue and that is expensive.
- 25 Mr. Hunter said we can verify that there isn't any impact a couple of different ways in the review
- 26 process. One is having the applicant provide a list from the state engineer's website. Some of this
- 27 property is not in the city but in the county, and we don't have jurisdiction over that. For
- 28 example, with the Christensen's development, we are requiring the applicant to identify water
- 29 rights in this area. There is a development which is currently being held up from coming to
- 30 planning commission for review by their failure to resolve a water-rights issue, so we are aware
- 31 and trying to identify affected users.
- 32 Mr. Frandsen thinks it might be smart for the city to require an engineer and an attorney to sign
- 33 to guarantee that the issue has been resolved. If you're going to move a ditch you have to get
- 34 signatures from users up and downstream, he thinks that would be a good thing for the city to do.
- 35 Mr. Hunter said he can bring that up in discussions about our process. He will also involve Jeff
- 36 Gittens and the city attorney.

UNAPPROVED MINUTES

Mr. Frandsen clarifies that he doesn't have a problem with this current proposal but he sees it as an issue that will be important in the near future.

Ms. Anderson thinks that someone other than the applicant needs to certify that there are no negative effects on water rights users, someone who has nothing to gain. She asked if it's the engineer or applicant who looks at that issue.

Mr. Hunter replies that it is an engineer, wetland specialist, or someone the applicant has hired to look at it.

Chairman Woffinden added that the explosion of development south of the freeway will impact this issue for many years.

Mr. Hunter said that there are many previously installed land drains that are unidentified. That's a real challenge because there are lots of undocumented water systems that only the owner knew about. He will take a look at this to see if we can make process improvements.

Mr. Michael Roderick, applicant, indicated that this will be their third building at this location. It will be a duplicate of what they have already built.

Public Hearing Opened

No comments received.

Public Hearing Closed

Mr. Christiansen motioned to recommend approval of the commercial site plan for Roderick Catalyst Business Park, Plat 4, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

Mr. Frandsen seconded the motion. Voting was as follows:

Chairman Woffinden	Aye
Jenny Peay	Aye
Christine Anderson	Aye
Chris Christiansen	Aye
Bruce Frandsen	Aye
Harold Dudley	Aye

The motion passed.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder

Director Approval Terilyn Lurker

AGENDA ITEM Review and action on an ordinance approving the site plan for Roderick Catalyst Business Park Building 5 located in the area of 268 East 1600 South, in the PI-1 Planned Industrial zone.

SUMMARY RECOMMENDATION

Staff would recommend approval of the site plan.

BACKGROUND

This site plan went before the Planning Commission on January 19, 2022 and received a positive recommendation.

This area was annexed into the city in 2015. This site plan consists of one office-warehouse structure. The 122,843 square foot building sits on approximately 7 acres and is accessed from 1600 South and 1700 South. The parking and landscaping requirements as per city code are met and the site plan is consistent with the Land Use Plan Designation of "Design Industrial".

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to adopt the ordinance approving the site plan for Roderick Catalyst Business Park Building 5 located in the area of 268 East 1600 South, in the PI-1 Planned Industrial zone with instructions to the city recorder to withhold publication of the ordinance subject to all conditions identified in the public record with the January 19, 2022, planning commission meeting.

SUPPORTING DOCUMENTS

02.08.22 - Roderick Catalyst Building 5 - ordinance (DOCX)
 02.08.22 - Roderick Catalyst Building 5 - site plan (PDF)
 02.08.22 - Roderick Catalyst Building 5 - staff report (PDF)
 02.08.22 - Roderick Catalyst Building 5 - PC minutes (PDF)

ORDINANCE NO. _____**AN ORDINANCE APPROVING A SITE PLAN FOR RODERICK CATALYST BUSINESS PARK BUILDING 5, LOCATED IN THE VICINITY OF 268 EAST 1600 SOUTH IN THE PI-1 PLANNED INDUSTRIAL ZONE.****BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,****PART I****DEVELOPMENT APPROVED – ZONE MAP AMENDED**

- A. The site plan for the Roderick Catalyst Business Park Building 5, located at 268 East 1600 South, American Fork, Utah, as set forth in Attachment A, is hereby approved.
- B. Said plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone ____.
- C. Said plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II**ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

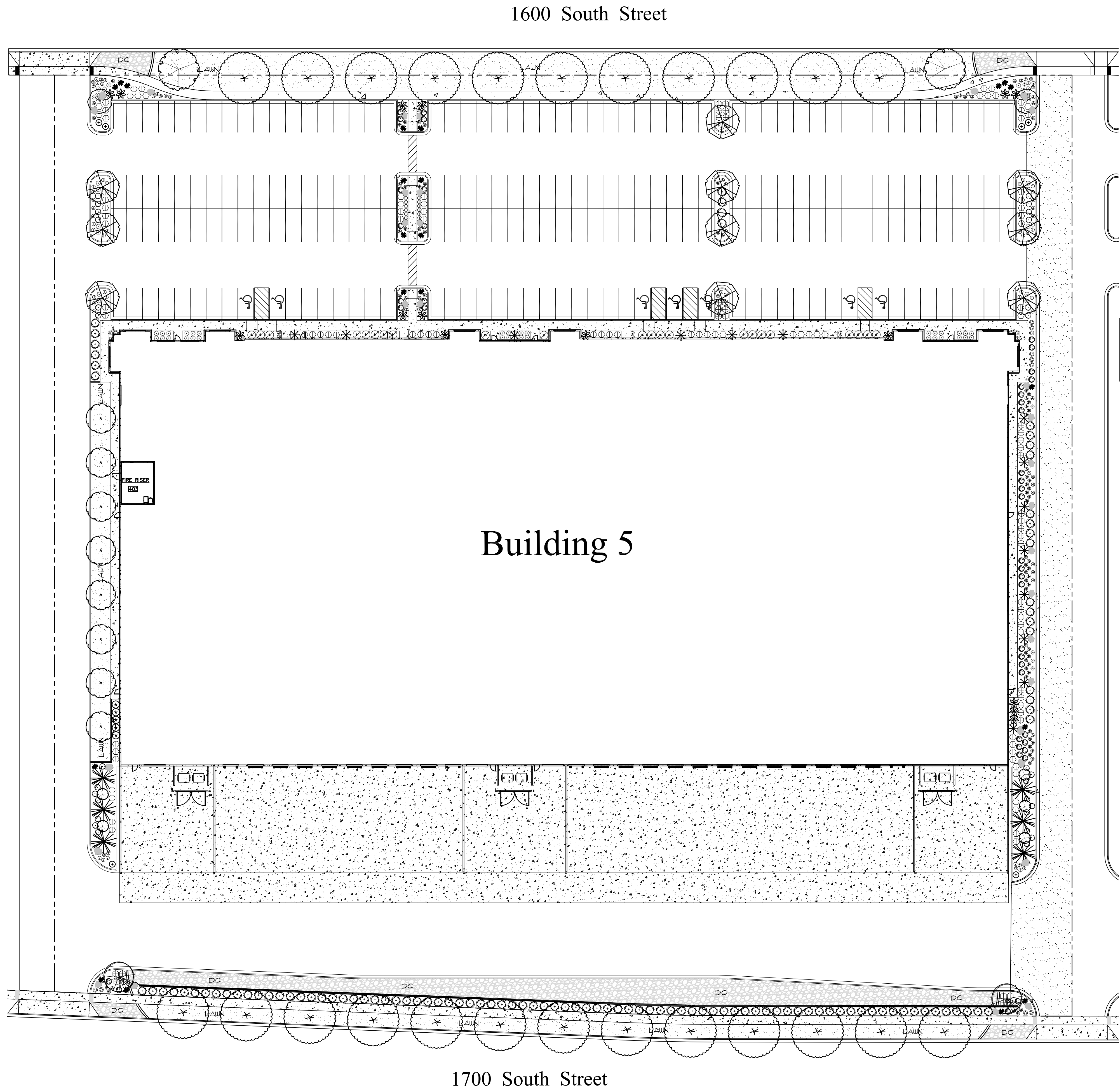
- A. Hereafter, these amendments shall be construed as part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and posting as required by state law.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK,
UTAH, THIS 8th DAY OF FEBRUARY 2022.

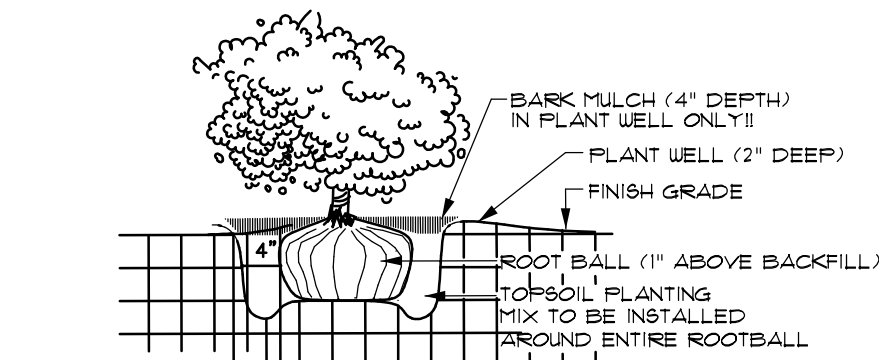
Bradley J. Frost, Mayor

ATTEST:

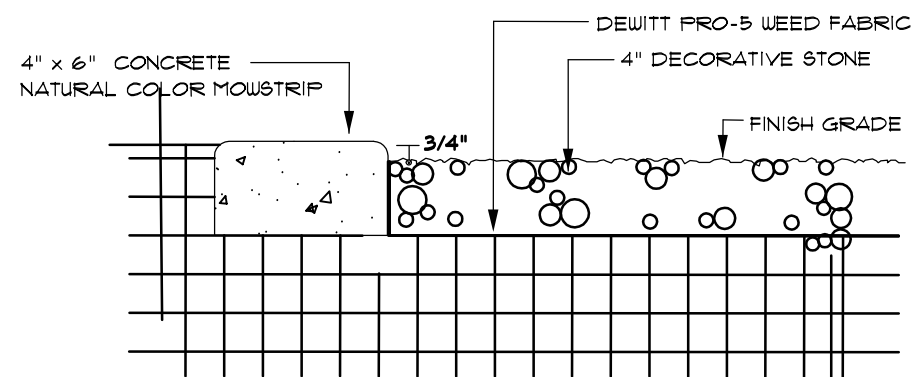
Terilyn Lurker, City Recorder



Legend		
Symbol	Description	Remarks
	Landscape Boulder / 3'-4' Minimum Diameter Size	Boulder Material To Match That Previously Used On Catalyst Building #1.
	4" x 6" Extruded Concrete Mowstrip / Natural Color	Install In Straight True Lines And Uniform Curves 4' Between All Lawn And Shrub Areas. Compact Sub-grade Prior To Installation.
	New Lawn Area / Use Water Conservative Mixture	Install Lawn In Areas Shown 4' Over 4" Depth Of Topsoil. Provide Drought Tolerant Sod.
	Decorative Rock / 1 1/2" Size Product / "SOMA" / Unwashed 4' Crushed / "Utah Landscaping Rock" Product	Install In Areas Shown To A Depth Of 6 inches Over "DeWitt" Brand Pro-5 Weeds Barrier Fabric. Install 2 Applications Of Pre-Emergent Herbicide, 1 Below Fabric, 1 Above Fabric And /Or On Rock.
	New Shrub - Rock Area / 1"-4" Size Max. / Unwashed 4' Crushed / "Geneva Rock" Product.	Install In Areas Shown To A Depth Of 6 inches Over "DeWitt" Brand Pro-5 Weeds Barrier Fabric. Install 2 Applications Of Pre-Emergent Herbicide, 1 Below Fabric, 1 Above Fabric And /Or On Rock.

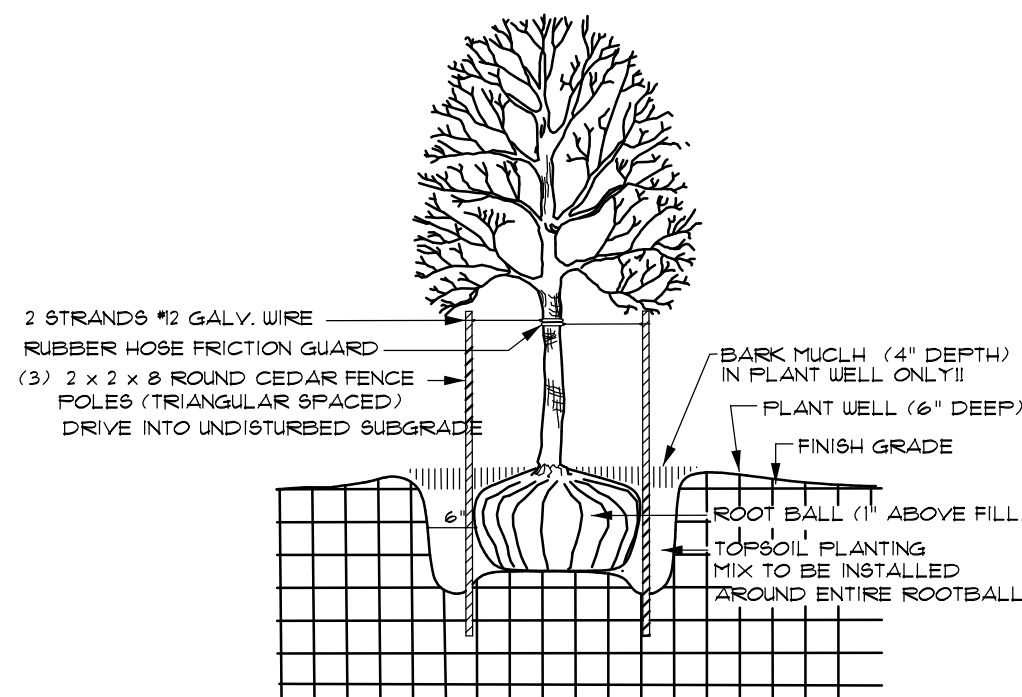


1 Shrub Planting
N. T. S.



NOTE: SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT.

2 Mowstrip / Stone Mulch
N. T. S.



3 Tree Planting
N. T. S.

Catalyst Business Park Building #5

For Roderick Enterprises
268 East 1600 South
American Fork, Utah 84003

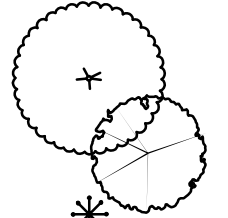







Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)











PROJECT:	
DRAWN BY:	RDL
CHECK BY:	RDL
ISSUE DATE:	01-13-22
REVISIONS:	XX-XX-XX

SHEET TITLE
Landscape Planting Plan

SHEET NUMBER

L-1

Plant List (TREES)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
24		Celtis occidentalis	Common Hackberry	2 1/2" Caliper 10'-12' Height	Full Head Crown Straight Trunk
2		Malus 'Spring Snow'	Spring Snow Crab	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
14		Picea abies 'Cupressina'	Columnar Norway Spruce	10' Min. Height Uniform Thick	Full Throughout Specimen
6		Picea pungens glauca	Colorado Green Spruce	10' Min. Height Uniform Thick	Full Throughout Specimen
2		Prunus virginiana 'Canada Red'	Canadian Red Cherry	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
2		Pyrus calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Caliper 8'-10' Height	Full Head Crown Straight Trunk
8		Quercus fastigiata	Columnar Oak	2 1/2" Caliper 10'-12' Height	Full Head Crown Straight Trunk
10		Zelcova serrata 'Musashino'	Musashino Zelcova	2 1/2" Caliper 10'-12' Height	Full Head Crown Straight Trunk

Plant List (SHRUBS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
5		Buddleia davidii	Butterfly Bush	5 Gallon	18"-24" Height
22		Hydrangea panic. 'Limelight'	Limelight Hydrangea	5 Gallon	24"-30" Height
15		Physocarpus opul. 'Diablo'	Summer Wine Ninebark	5 Gallon	24"-30" Height
52		Pinus mugo 'Sloumound'	Sloumound Mugo Pine	5 Gallon	18"-24" Spread
6		Potentilla frut. 'Gold Drop'	Gold Drop Cinquefoil	5 Gallon	15"-18" Height
107		Rhus aromatic 'Low Grow'	Grow Low Sumac	5 Gallon	18"-24" Spread
5		Rhus 'Balltiger'	Tiger Eyes Sumac	5 Gallon	24"-30" Height
43		Rosa 'Red Knock Out'	Red Knock Out Rose	5 Gallon	18"-24" Height
28		Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	18"-24" Height
21		Yucca filamentosa 'Ivory Tower'	Ivory Tower Yucca	5 Gallon	15"-18" Height

** Plant quantities are provided for convenience in the bidding and budgeting process ONLY!!
The contractor shall supply and install all plant materials either shown or noted on the plans.

Sub-Grade Requirements

1. LAWN AREAS : Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and concrete areas.
2. SHRUB AREAS (Between Walk & Building) : Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of topsoil along with a four inch depth of bark mulch or colored stone, leaving it slightly below finish grade and concrete areas.
3. SHRUB AREAS (Beyond Building Planters) : Twelve (12) inches below finish grade. This will allow for the installation of an eight inch depth of topsoil along with a four inch depth of bark mulch or colored stone, leaving it slightly below finish grade and concrete areas.
4. PERENNIAL-ANNUAL COLOR AREAS : Sixteen (16) inches below finish grade. This will allow for the installation of a twelve inch depth of premium topsoil along with a four inch depth of bark mulch or compost product, leaving it slightly below finish grade and concrete areas.
5. PRODUCT COORDINATION : Early on in the construction process, the landscape contractor shall meet with the earthwork/grading contractor in order to ensure that the proper sub-grade elevations (prior to topsoil installation) will be provided.

Submittal Requirements

1. The contractor shall provide to the Owner/Engineer product samples of all landscape materials such as boulders, decorative stone, bark mulches, weed barrier fabric, soil amendments & import topsoil in order to obtain approval to be used on the project, and prior to shipment to the site. Failure to provide this in a timely manner will in no way affect or delay the construction schedule and time for project completion.
2. All plant materials shall be secured for the project a minimum of 60 days prior to shipment to the site. The contractor shall provide to the Owner/Engineer written confirmation of this a minimum of 30 days prior to planting of the project. No substitutions will be considered following this time period.

Plant List (ORNAMENTAL GRASSES)						
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks	
14	⊖	Bouteloua g. 'Blone Ambition'	B.A. Blue Gramma Grass	2 Gallon	12"-15" Height	
84	Ⓢ	Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	24"-30" Height	
38	Ⓢ	Calamagrostis a. 'Overdam'	Overdam Feather Grass	5 Gallon	24"-30" Height	

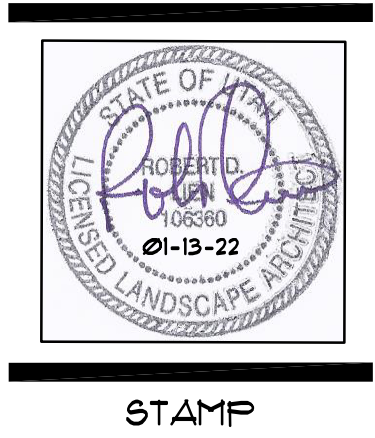
Plant List (PERENNIALS)					
Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
34	Ⓢ	Hemerocallis 'Stella d'Oro'	Stella d'Oro Day Lily	1 Gallon	Full Can
42	Ⓢ	Iris pallida 'Variegata Aurea'	Variegated Yellow Iris	1 Gallon	Full Can
10	Ⓢ	Kniphofia rooperi	Red Hot Poker	1 Gallon	Full Can
26	Ⓢ	Lavandula angustifolia	English Lavender	1 Gallon	Full Can
43	Ⓢ	Rudbeckia 'Goldstrum'	Black-Eyed Susan	1 Gallon	Full Can
34	Ⓢ	Salvia 'May Night'	May Night Salvia	1 Gallon	Full Can

Planting Notes

1. All lawn areas shall receive a 4 inch depth of topsoil, all shrub planting areas adjacent to the building shall receive a 12 inch depth of topsoil, all other shrubs areas an eight inch depth of topsoil. Topsoil material is not available on-site, and must be imported from an approved local source. All topsoil material shall be of a sandy loam mix.
2. Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches, by the use of mechanical means, in order to create a transition layer between existing and new soils.
3. All lawn areas shall be sodded using high grade material of a water conservative mixture, and shall be composed of drought tolerant Bluegrass & Fescue. Prior to installation, all areas shall receive a starter fertilizer applied at the rate recommended by the manufacturer.
4. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site.
5. Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation.
6. Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per manufacturers recommendations.
7. All trees located in lawn areas shall receive an 'Arbor Guard' trunk protector, or equal, and have a 36 inch diameter sod-free ring. All trees shall be staked for wind protection, unless otherwise indicated.
8. Upon completion of planting operations, all shrub pits and tree wells shall receive a four inch depth of fine ground bark mulch mixture as a cover. The overall shrub beds themselves shall receive a 4" depth of decorative stone surfacing over Pro-5 weed barrier fabric. The decorative stone material to be 'BID' shall match what has been previously installed on Catalyst building #1, and per legend. This material is available from local sources. Contact the Owner or general contractor for all supplier information.
9. In decorative stone beds, cut the fabric from around the water well of each plant, then apply fine ground bark inside water well. The remainder of the planter bed shall receive the depth of decorative stone.
10. Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days minimum) and shall include mowing, weeding, pruning and one fertilization. In addition to the initial maintenance period, the landscape contractor shall provide a separate price as an additive alternate to extend the maintenance period through the one-year warranty period. The one-year contract will be between the landscape contractor and the Owner.
11. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

General Notes

1. All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
2. The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scale.
3. The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
7. The contractor shall plant all plants per the planting details, stakes/guy as shown. The top of the rootballs shall be planted flush with the finish grade.



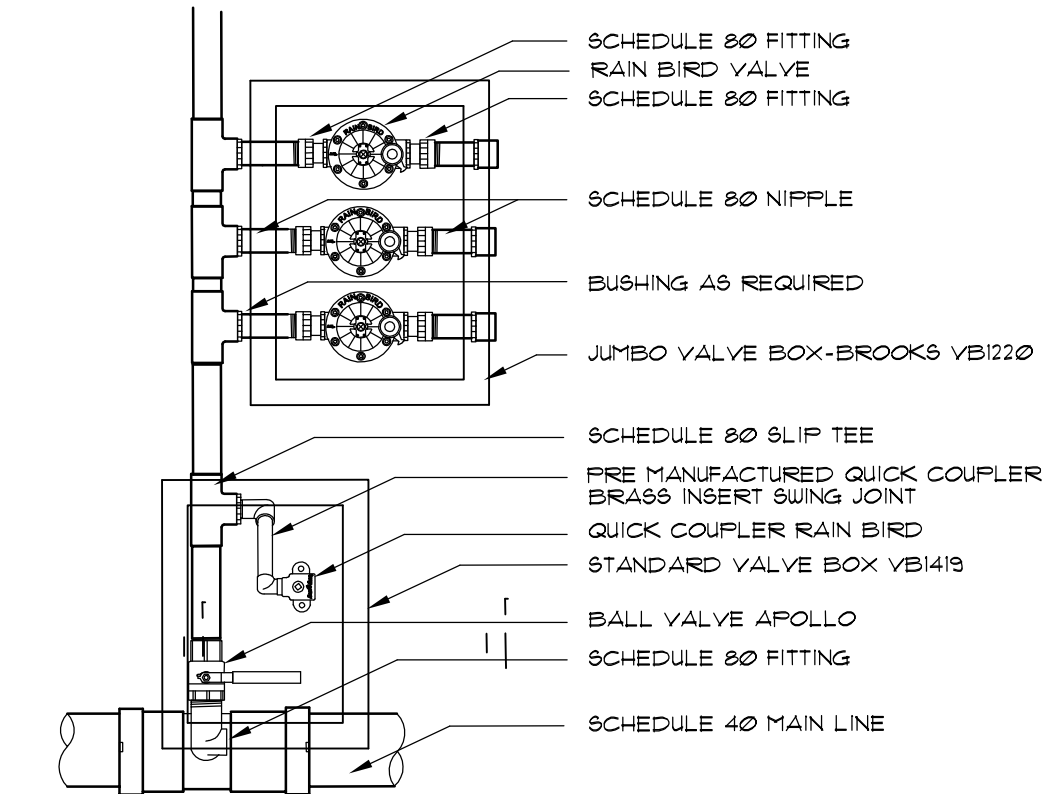
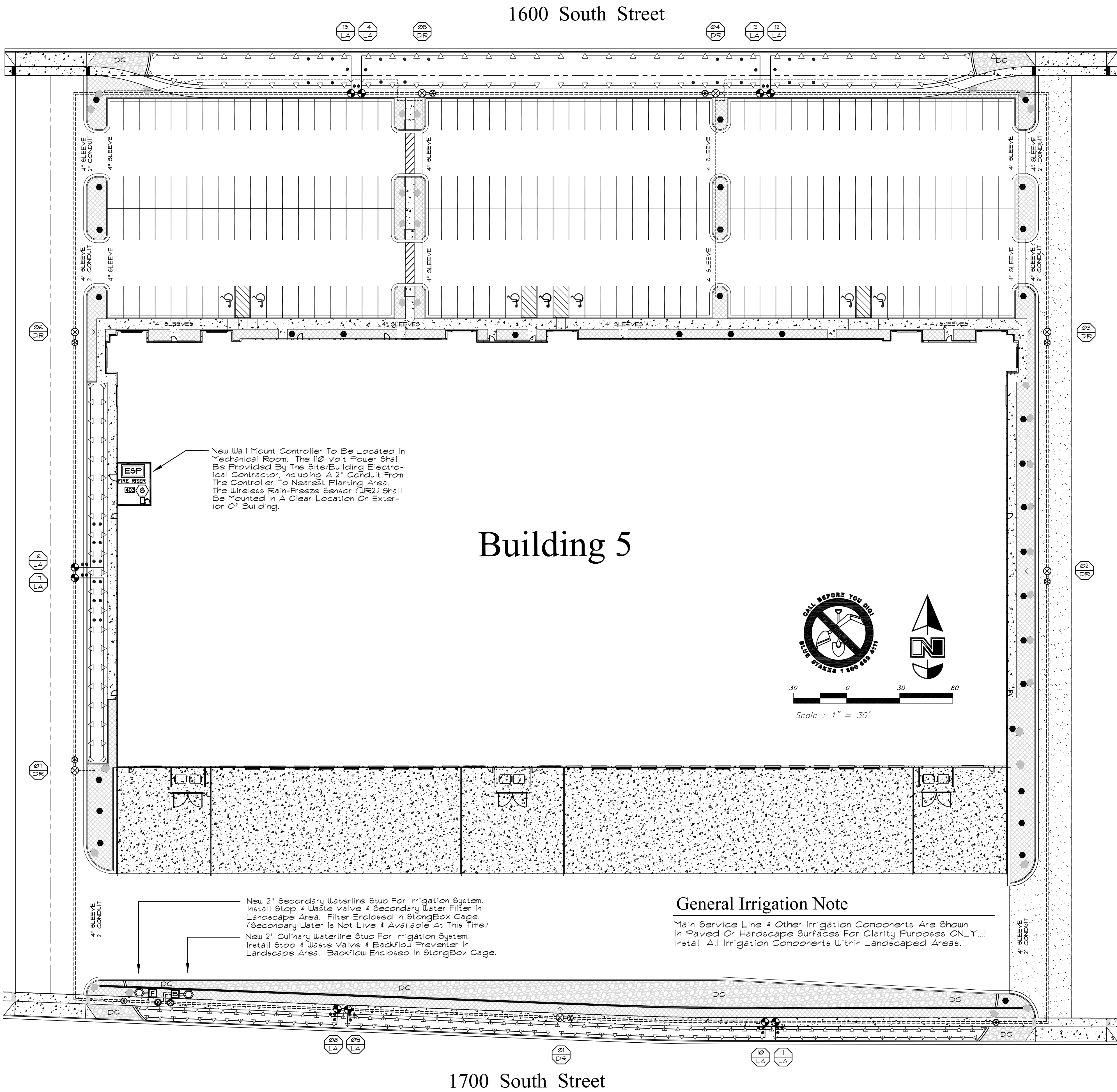
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Catalyst Business Park Building #5

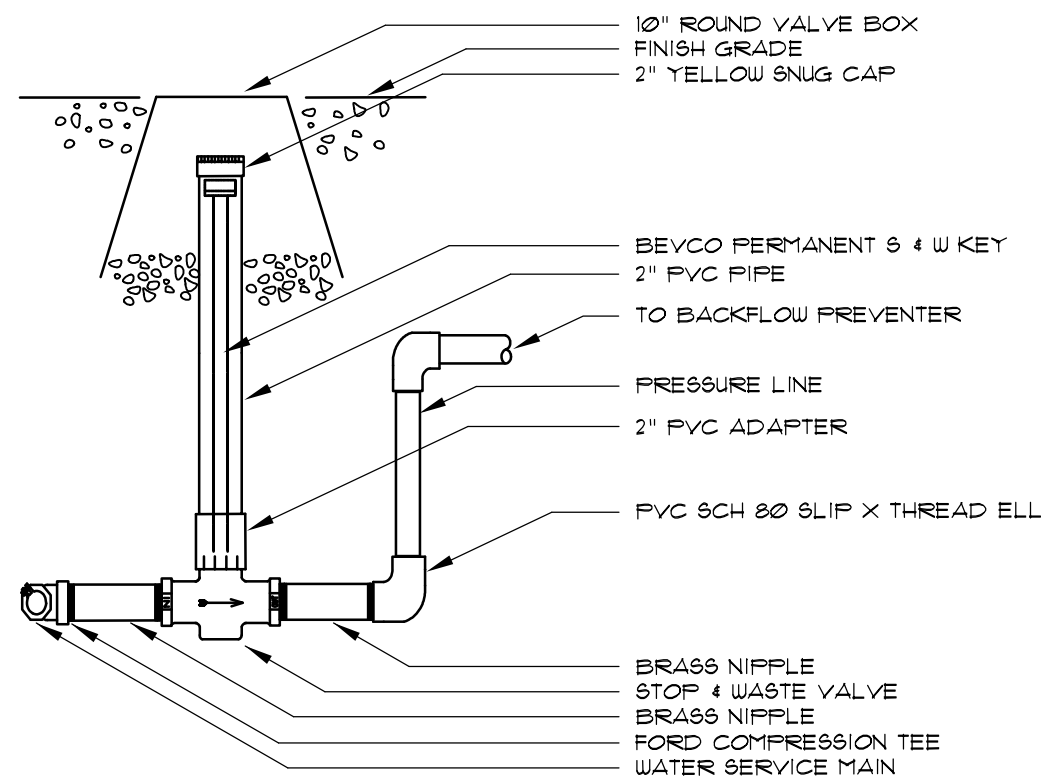
For Roderick Enterprises
268 East 1600 South
Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan

American Fork, Utah 84003
Roderick Catalyst Business Park Building 5 site plan

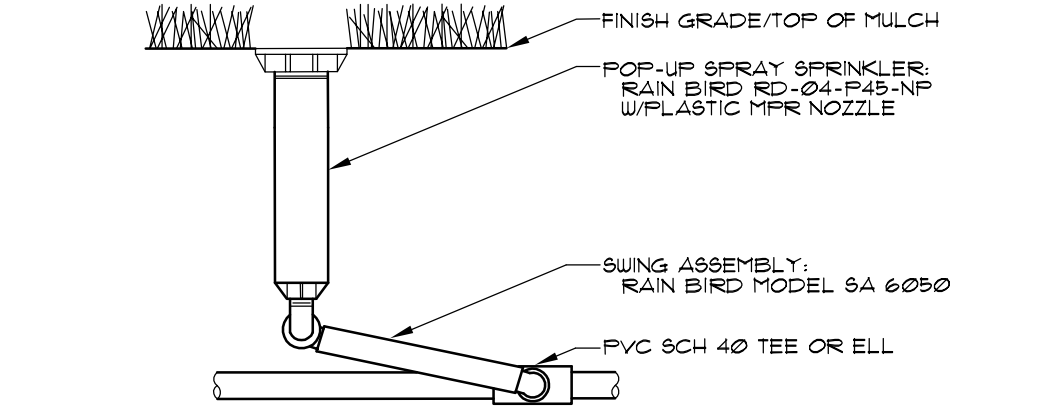
PROJECT:	
DRAWN BY:	RDL
CHECK BY:	RDL
ISSUE DATE:	01-13-22
REVISIONS:	XX-XX-XX



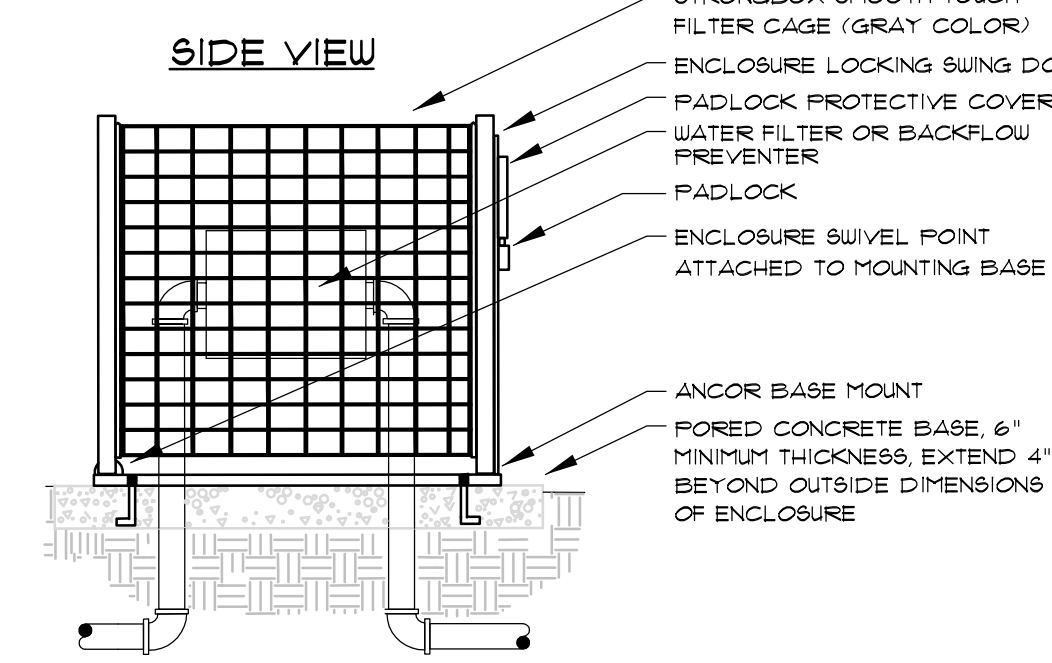
1 Valve Manifold
L-3 N. T. S.



2 Stop & Waste Valve
L-3 N. T. S.



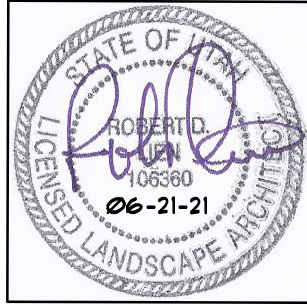
3 Pop-Up Spray Sprinkler
L-3 N. T. S.



4 Filter Enclosure
L-3 N. T. S.

Catalyst Business Park Building #5

RDL Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rdl@designcomcast.net



STAMP

For Roderick Enterprises
268 East 1600 South American Fork, Utah 84003
Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

PROJECT:	
DRAWN BY:	RDL
CHECK BY:	RDL
ISSUE DATE:	06-21-21
REVISIONS:	XX-XX-XX

SHEET TITLE
Irrigation Sprinkler Plan

SHEET NUMBER

L-3

Symbol	Model-Number	Description	Remarks
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-8 Series Nozzle As Required
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-12 Series Nozzle As Required
▼	Rainbird RD-04-P45-NP	Pop-Up Sprayhead Sprinkler	U-15 Series Nozzle As Required
●	Rainbird EMT-6	Multi Outlet Emitter Device	Added Emitters For Tree Type Specified
⊕	Rainbird 150-FESB-R	Remote Control Valve	1 1/2" Size In Valve Box With Gravel Sump
⊗	Rainbird 100-FESB-R	Remote Control Valve	1" Size In Valve Box With Gravel Sump
⊗	Rainbird XCZ-100-FRBR	Drip Control Zone Kit	1" Size In Valve Box With Gravel Sump
⊗	Apollo (Or Equal) Brass	Line Size Isolation Ball Valve	Install In Valve Box With Gravel Sump
⊗	Rainbird 33DNP	Quick Coupler Valve	3/4" Size In Valve Box With Gravel Sump
●	Rainbird (Or Equal)	PVC To PE Pipe Connection	Install Throughout Various Planting Beds
E6P	Rainbird E6P-LXD	2 Wire Modular Controller	Add Modules As Needed For Stations
S	Rainbird WR2-RFC	Wireless Rain-Freeze Sensor	Mount In Clear Location On Building
F	Mueller Orisael Mark II	Stop & Waste Valve	2" Size / Install Inside Curb Box
B	Amlad 2T-S	Secondary Water Filter	Install Above Grade With StrongBox
	Wilkins 2-3T5-RPZ	Reduced Pressure Backflow	2" / Install Above Grade With StrongBox
=====	Schedule 40 PVC	Main Service Line	2" Size Throughout
—————	Schedule 40 PVC	Lateral Circuit Line / Lawn	Pipe Size As Required / 1" Min. Size
-----	Schedule 40 PVC	Lateral Circuit Line / Shrub	Pipe Size As Required / 3/4" Min. Size
▨	Netafim HCVR-RW	Techline In-Line Drip Line	Emitter Spacing & GPH As Site Requires

General Irrigation Note

Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaces For Clarity Purposes ONLY!!!! Install All Irrigation Components Within Landscaped Areas.

Emitter Installtion Guide

PLANT SIZE	EMITTER DEVICE	QUANTITY
1 Gallon Shrub Plant Material	XB-20PC (2 Gal./Hr.)	Two Each
5 Gallon Shrub Plant Material	XB-20PC (2 Gal./Hr.)	Three Each
15 Gallon Tree Or Shrub Plant Material	PC-05 (5 Gal./Hr.)	Three Each
Calipered Plant Material	PC-05 (5 Gal./Hr.)	Six Each

Final selection of emitter type and quantity to be the responsibility of the irrigation contractor, in order to provide the optimum amount of precipitation to each plant, in addition to complying with project warranties.

Sleeving Installation Notes

Contractor shall coordinate the installation of sleeving with the installation of concrete flatwork and paving. All sleeving is by contractor unless otherwise noted. Install sleeving based upon the sizing guide below:

PIPE SIZE / WIRE QUAN.	REQUIRED SLEEVING
2" - 1 1/4" Piping	1-2" PVC Sleeve
1 1/2" - 2" Piping	1-4" PVC Sleeve
1-25 Control Wires	1-2" PVC Sleeve

Pipe GPM Design Guide

Pipe Size	Water Flow (GPM)
(Velocities Not To Exceed 5 Feet/Second)	
1" Size / NA	0 - 12 GPM
1 1/4" Size / ●	12 - 22 GPM
1 1/2" Size / ●●	22 - 30 GPM
2" Size / ●●●	30 - 50 GPM

NOTE: Contractor shall perform all pipe sizing using the above design guideline. 1" minimum size piping to be used with schedule 40 pvc.

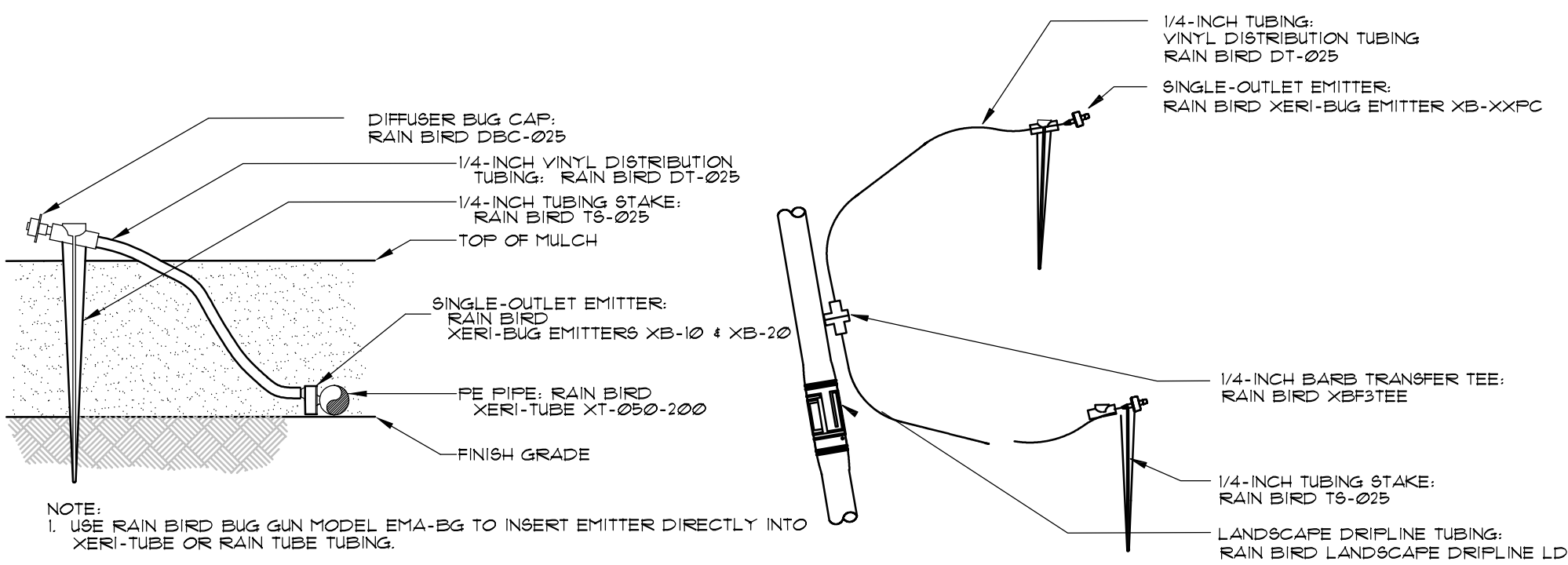
General Notes

- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate their work with the project manager and all other contractors working on the site.
- The contractor shall verify the exact location and size of the irrigation waterline stub, and the available water pressure at the point of connection. Any conflicts from what is shown on the plans shall be brought to the attention of the engineer for a resolution.
- The contractor shall be responsible for the installation of all irrigation sleeveings under paving and other hard surface areas, whether shown on the plan, or required otherwise. This shall also include the installation of electrical conduit(s) from the controller location to the nearest planting area.
- The controller shall be hardwired to the available 110 volt power source, with all work being performed per state and local codes. The controller shall be located in a convenient location as determined by the Owner and site/building contractor.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.

Irrigation Controller Valve Schedule

VALVE DATA				HYDRAULIC DATA			
•	Size	Sta. •	Head Type	Landscape Zone	Prec. Rate- inch/hr	GPM	PSI
1	1.0"	1	Drip	Plantings-Sun	NA	6.0	30
2	1.0"	2	Drip	Plantings-Sun	NA	6.0	30
3	1.0"	3	Drip	Plantings-Sun	NA	6.0	30
4	1.0"	4	Drip	Plantings-Sun	NA	6.0	30
5	1.0"	5	Drip	Plantings-Sun	NA	6.0	30
6	1.0"	6	Drip	Plantings-Sun	NA	6.0	30
7	1.0"	7	Drip	Plantings-Sun	NA	6.0	30
8	1.5"	8	Spray	Lawn	1.50	17.0	30
9	1.5"	9	Spray	Lawn	1.50	17.0	30
10	1.5"	10	Spray	Lawn	1.50	17.0	30
11	1.5"	11	Spray	Lawn	1.50	17.0	30
12	1.5"	12	Spray	Lawn	1.50	32.0	30
13	1.5"	13	Spray	Lawn	1.50	32.0	30
14	1.5"	14	Spray	Lawn	1.50	32.0	30
15	1.5"	15	Spray	Lawn	1.50	32.0	30
16	1.5"	16	Spray	Lawn	1.50	26.0	30
17	1.5"	17	Spray	Lawn	1.50	26.0	30
18	NA	18	Spare		NA	NA	NA

NOTE: Minimum static water pressure at the point of connection required is 50 psi. If water pressure is above 80 psi., install pressure reduction valve, & set to an operating pressure of 60 psi at connection point.

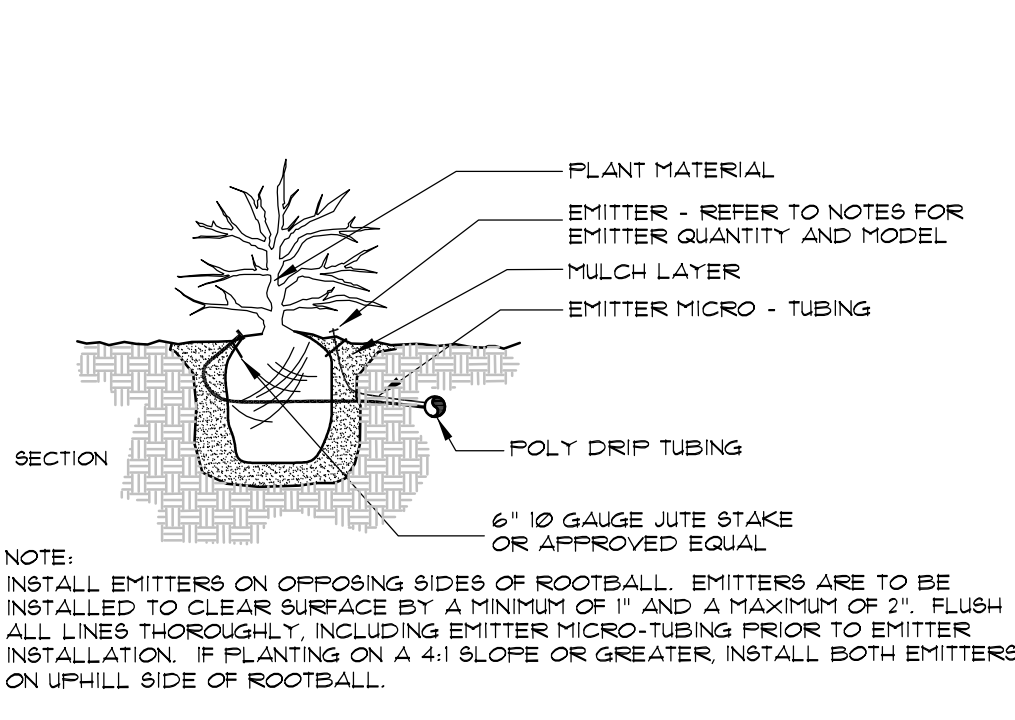


1 Emitter Into Xeri-Tube

L-4 N. T. S.

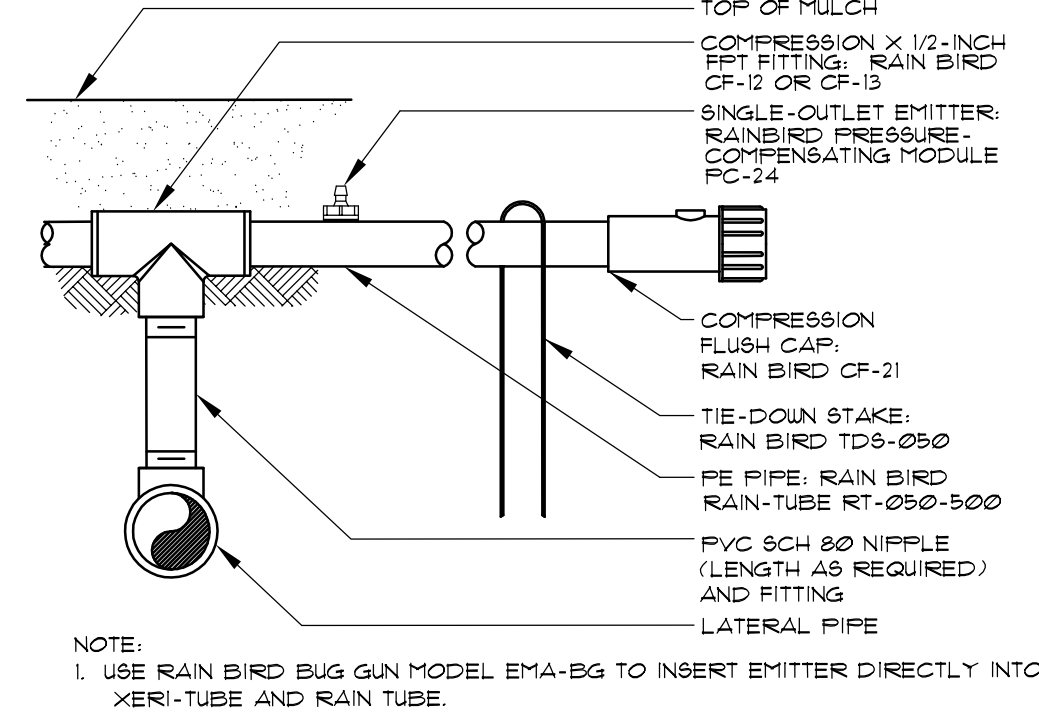
2 Dripline - Additional Emitters

L-4 N. T. S.



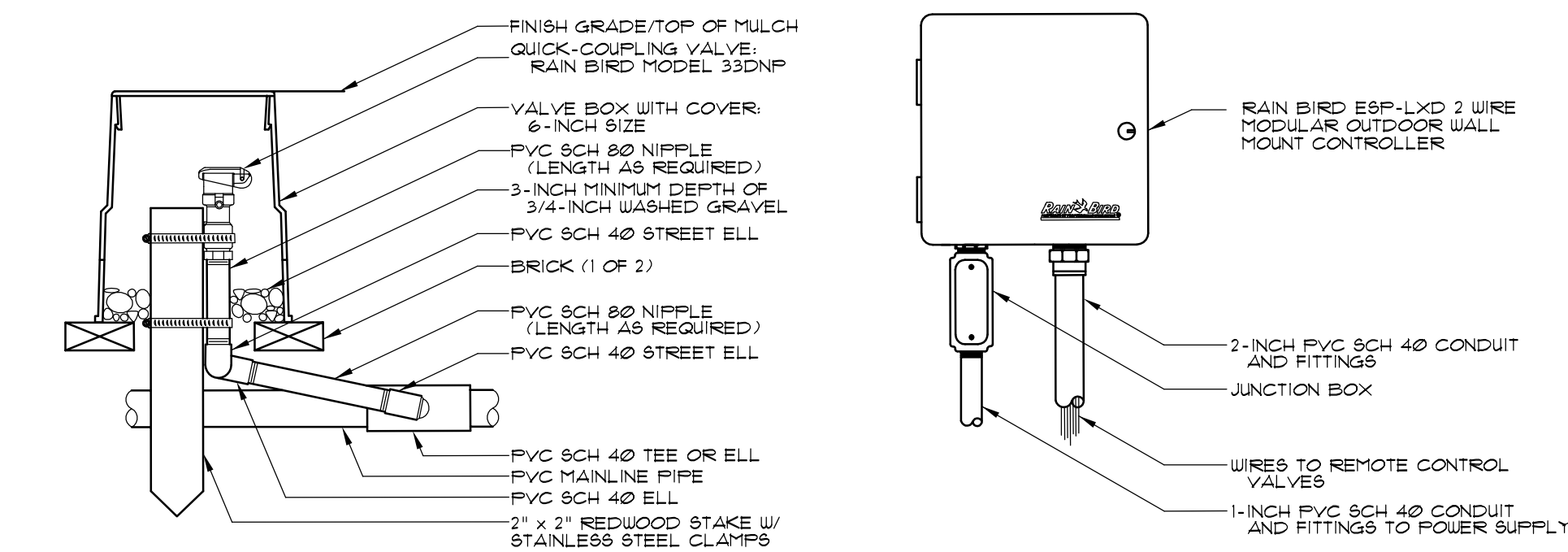
3 Drip Emitter

L-4 N. T. S.



4 PVC To PE Pipe Connection

L-4 N. T. S.

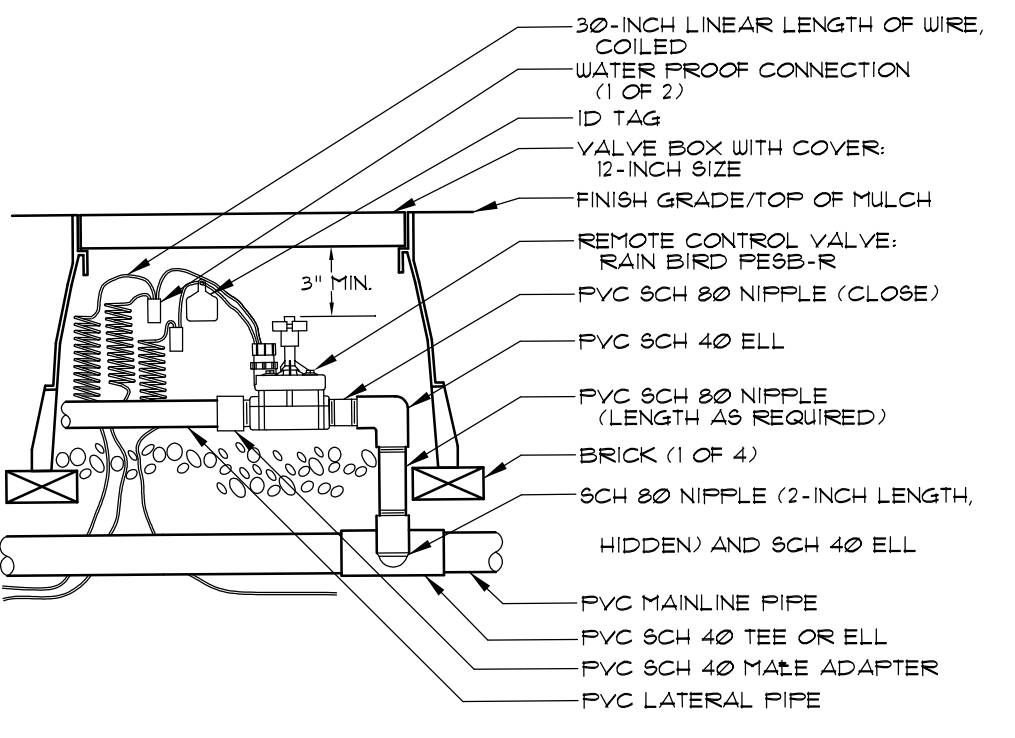


5 Quick Coupling Valve

L-4 N. T. S.

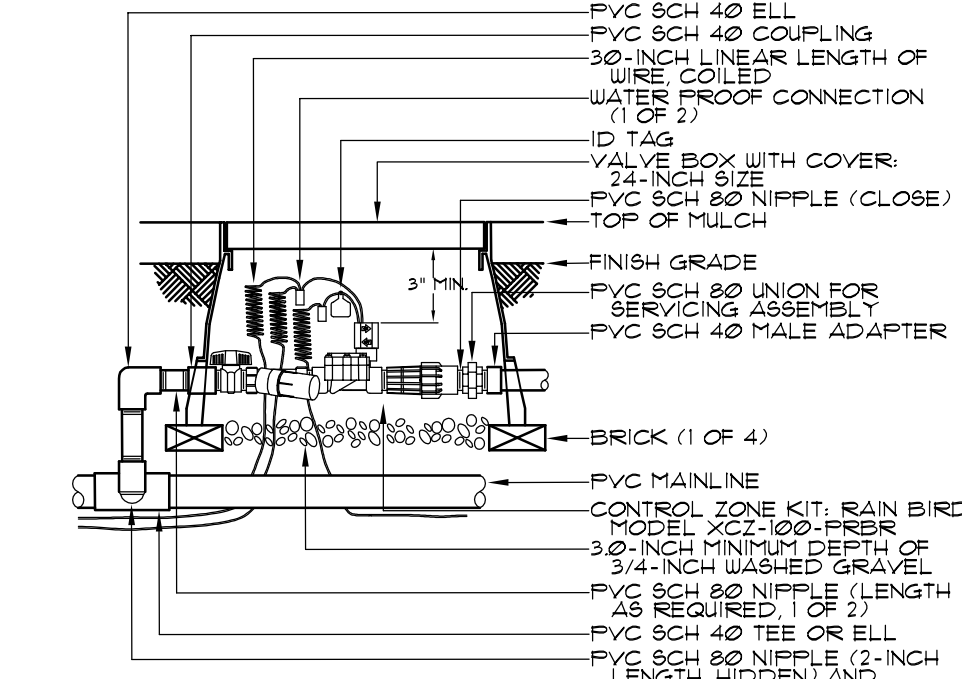
6 Wall Mount Controller

L-4 N. T. S.



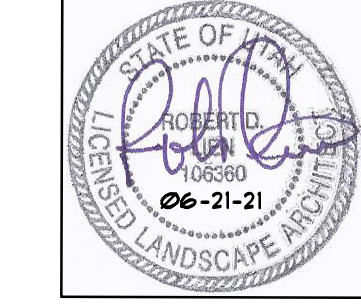
7 Remote Control Valve

L-4 N. T. S.



8 Xerigation Control Zone Kit

L-4 N. T. S.



STAMP

Catalyst Business Park Building #5

For Roderick Enterprises

268 East 1600 South American Fork, Utah 84003

Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

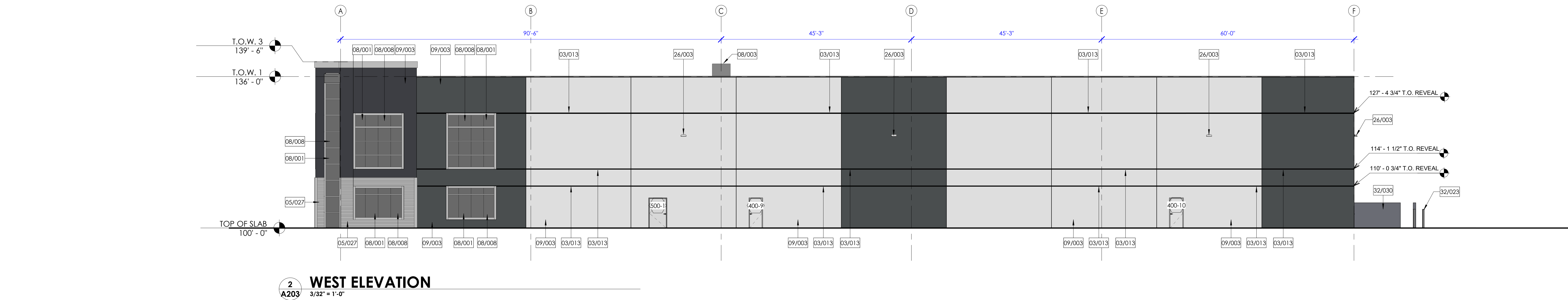
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DRAWN BY: RDL
CHECK BY: RDL
ISSUE DATE: 06-21-21
REVISIONS: XX-XX-XX

SHEET TITLE





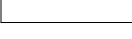
Irrigation
Sprinkler
Plan

SHEET NUMBER

L-4



EXTERIOR ELEVATION COLOR:

	= PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CRAFTED GRAY); ELASTOMERIC, SMOOTH FINISH
	= PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CHARCOAL SLATE); ELASTOMERIC, SMOOTH FINISH
	= GREYULITE III / SOLARBAN 60 (3) W/ REFLECTIVE COATING.
	= GREYULITE II w/ R-3200 HARMONY GRAY SPANDREL (MONOCHROME) W/ REFLECTIVE COATING.
	= KNOCK OUT PANEL FOR FUTURE, PAINT SIMILAR TO SURROUNDING PANEL

GENERAL EXTERIOR FINISH NOTES:

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

FOR FUTURE TENANTS:

PROVIDE MOUNTING DETAILS FOR WALL-MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED SIGNS AND MONUMENT SIGNS EXCEEDING 6 FT. TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

KEYNOTE LEGEND	
03/013	CONCRETE WALL REVEAL
05/027	HORIZONTAL SILVER METAL PANELS
08/001	STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
08/003	ROOF HATCH ACCESS, PROVIDE SUBMITTAL FOR APPROVAL
08/008	MEDIUM/HIGH REFLECTIVITY PROVIDE SAMPLE FOR APPROVAL
09/003	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - PROVIDE SUBMITTAL FOR APPROVAL
26/003	EXTERIOR WALL LIGHT FIXTURE, SEE ELECTRICAL
32/023	PIPE BOLLARD SEE SHEET A104 FOR DETAILS AND PLACEMENT - SMOOTH BOLLARD SLEEVE 8x57" - YELLOW H-3717Y
32/030	DUMPSTER ENCLOSURE, SEE SHEET 8/A001

ae urbia
architects and engineers

909 West South Jordan Parkway
South Jordan, Utah 84095
phone: 801.746.0456 • fax: 801.575.6456
webpage: [aeurbia.com](http://www.aeurbia.com)

PRELIMINARY
| NOT FOR |
CONSTRUCTION

7/19/2021 1:01:33 PM

RODERICK CATALYST BUILDING #5
268 EAST 1600 SOUTH, AMERICAN FORK, UTAH 84003

268 EAST 1600 SOUTH, AMERICAN FORK, UTAH 84003

Revision Schedule		
MARK	DESCRIPTION	Revision Date

**EAST & WEST
ELEVATION**

DATE: 07/16/2021

SHEET #:

A203

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AE URBIA, LLC.

EXTERIOR ELEVATION COLOR:

- = PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CLIFFSIDE GRAY); ELASTOMERIC, SMOOTH FINISH.
- = PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CHARCOAL SLATE); ELASTOMERIC, SMOOTH FINISH.
- = GREYLITE III / SOLARBAN 60 (3) W/ REFLECTIVE COATING.
- = GREYLITE II w/ #3-820 HARMONY GRAY SPANDREL (MONOLITHIC) W/ REFLECTIVE COATING.
- = KNOCK OUT PANEL FOR FUTURE, PAINT SIMILAR TO SURROUNDING PANEL.

GENERAL EXTERIOR FINISH NOTES:

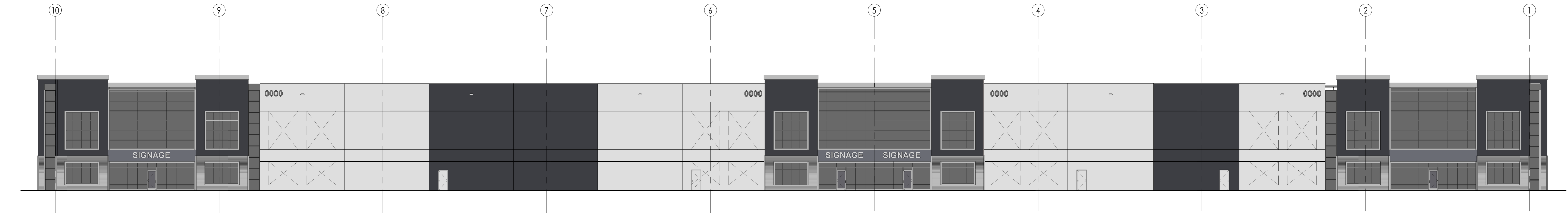
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

FOR FUTURE TENANTS:

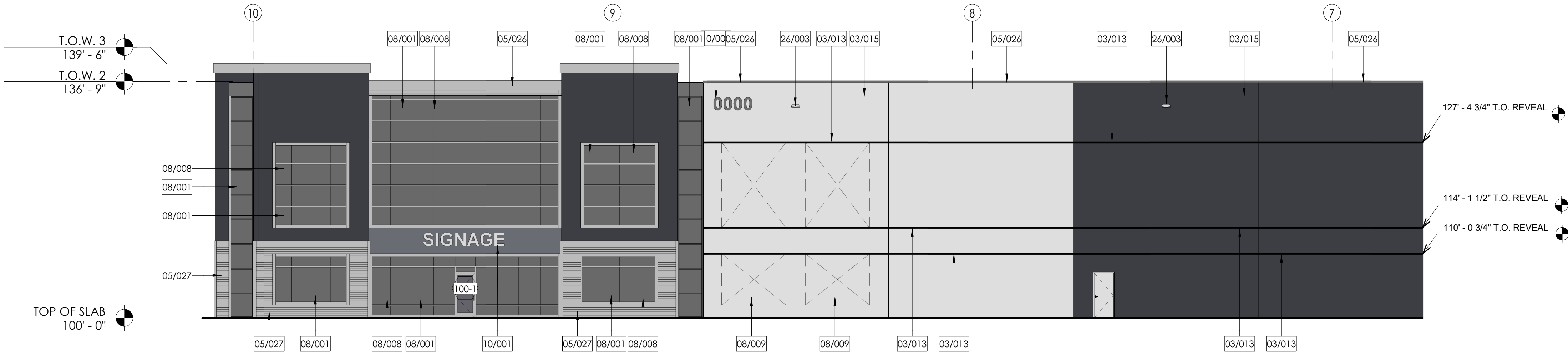
PROVIDE MOUNTING DETAILS FOR WALL-MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED SIGNS AND MOUNTMENT SIGNS EXCEEDING 6 FT. TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

KEYNOTE LEGEND

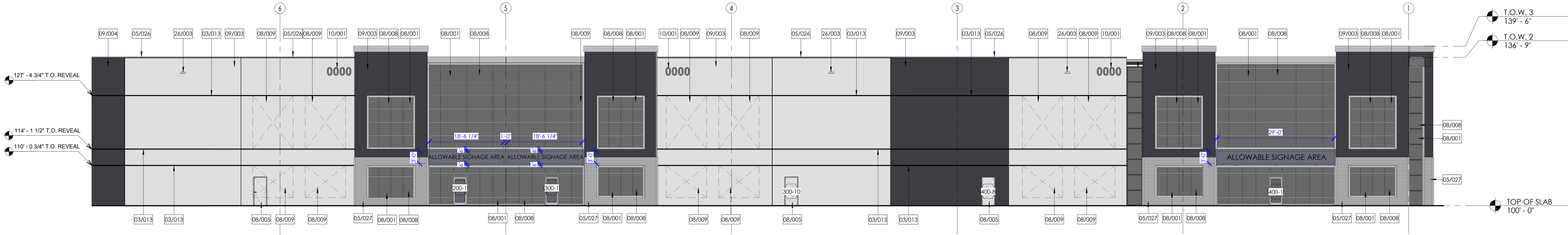
03/013	CONCRETE WALL REVEAL
03/015	CONCRETE TILT UP PANEL, SEE STRUCTURAL DRAWINGS
05/026	METAL PARAPET WALL CAP
05/027	HORIZONTAL SILVER METAL PANELS
08/001	STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
08/005	EXTERIOR MAIN DOOR
08/008	MEDIUM/HIGH REFLECTIVITY PROVIDE SAMPLE FOR APPROVAL
08/009	K.O.P. - SEE PANEL ELEVATION SHEETS
09/003	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - PROVIDE SUBMITTAL FOR APPROVAL
09/004	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - COLOR TBA - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO TEST PANEL. TEST PANEL APPROVAL REQUIRED PRIOR TO COMPLETE FIELD APPLICATION.
10/001	BUILDING SIGNAGE, TO BE REVIEWED AND APPROVED WITH SEPARATE PERMIT
10/007	BUILDING ADDRESS LOCATION
26/003	EXTERIOR WALL LIGHT FIXTURE, SEE ELECTRICAL



1 NORTH ELEVATION (Overall)



3 NORTH ELEVATION ENLARGED (Left)



4 NORTH ELEVATION ENLARGED (Right)

Revision Schedule	Revision Date
MARK	DESCRIPTION

AE2021.266

**NORTH
ELEVATIONS**

DATE: 07/16/2021

SHEET #:

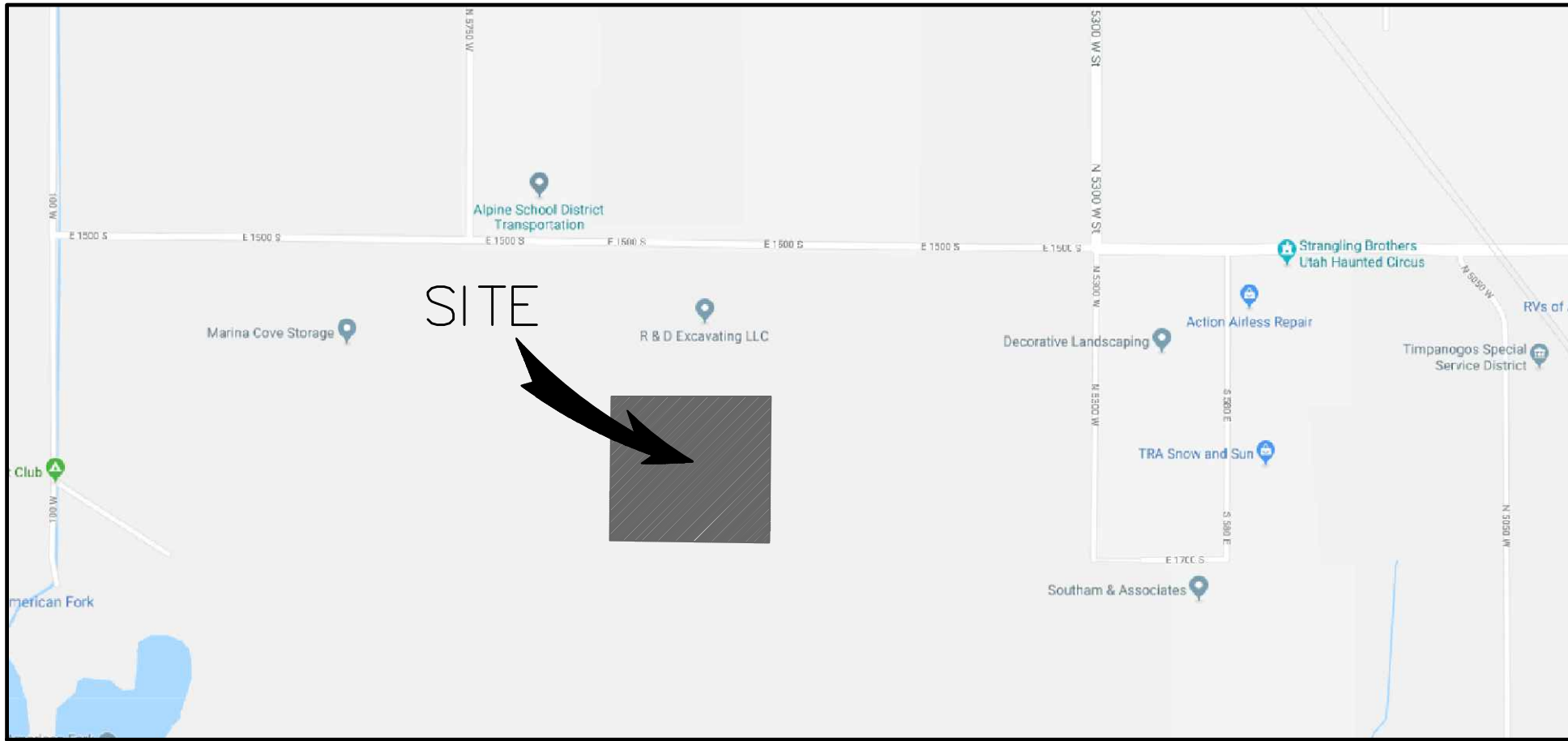
A202

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Roderick Catalyst-Business Park Building #5
LOT 5, Roderick Catalyst – Phase 2 Subdivision
268 East 1600 South
American Fork, Utah 84003

JULY 1, 2021
REVISED NOVEMBER 22, 2021
REVISED JANUARY 10, 2022

LEGEND
PROPERTY LINE
EASEMENT LINE
PROPOSED GRADE CONTOURS
EXISTING GRADE CONTOURS
EXISTING CURB
PROPOSED CURB AND GUTTER
PROPOSED CURB WALL
REVERSE PAN CURB & GUTTER
EXISTING SEWER
PROPOSED SEWER
EXISTING WATER
PROPOSED WATER
EXISTING FIRE LINE
PROPOSED FIRE LINE
EXISTING STORM DRAIN
PROPOSED STORM DRAIN
PROPOSED ROOF DRAIN
EXISTING GAS
PROPOSED GAS
EXISTING OVERHEAD POWER
EXISTING UNDERGROUND POWER
PROPOSED UNDERGROUND POWER
EXISTING TELEPHONE LINE
PROPOSED TELEPHONE LINE
EXISTING FIBER OPTIC LINE
PROPOSED FIBER OPTIC LINE
PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED LANDSCAPING
EXISTING FIRE HYDRANT
PROPOSED FIRE HYDRANT
EXISTING STREET LIGHT
PROPOSED STREET LIGHT
PROPOSED PARKING LOT LIGHT
EXISTING WATER METER
EXISTING WATER VALVE
EXISTING GATE VALVE
EXISTING OVERHEAD POWER POLE
TOP BACK CONCRETE
FINISHED FLOOR
HIGH WATER
TOP OF GRADE
TOP OF LID
INVERT ELEVATION
EXISTING NATURAL GROUND
TOP OF ASPHALT
TOP OF CONCRETE
EDGE OF CONCRETE
EDGE OF ASPHALT
TOP OF WALL
TOP OF GRAVEL
TOP OF LANDSCAPING
TOP OF SIDEWALK
PROPOSED SIDEWALK
BACK OF SIDEWALK
TBC CALLOUT UNLESS OTHERWISE DESIGNATED



- PROJECT CONSTRUCTION NOTES:
- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
 - CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
 - ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
 - ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
 - CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
 - CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
 - CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
 - INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
 - INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
 - ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER AMERICAN FORK CITY STANDARDS AND SPECIFICATIONS. SEE AMERICAN FORK CITY STANDARD PLAN NO. 15.22
 - ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
 - ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
 - FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS
 - ALL WATER LINES TO HAVE A MINIMUM 4' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
 - THRUST BLOCKS TO BE INSTALLED PER AMERICAN FORK CITY PLAN NO 15.21
 - CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
 - THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
 - ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL SITE DEMOLITION REQUIRED TO COMPLETE THIS PROJECT.

PROJECT CONTACT INFORMATION:

AF CITY CULINARY WATER	JAY BREMS	(801) 763 3060
AF PRESSURIZED IRRIGATION	JAY BREMS	(801) 763 3060
AF SANITARY SEWER	ASHTON HARDY	(801) 763 3060
AF STORM DRAIN SEWER	ASHTON HARDY	(801) 763 3060
AF FIRE MARSHALL	MAT SACCO	(801) 763 3040
AF CITY INSPECTOR	DEE HOWARD	(801) 763 3060
AF FIBER	KYLE PETERSON	(801) 400 2933
AF FLOOD IRRIGATION COMPANY	ERNIE JOHN	(801) 471 6576
TIMPANOGOS SSD	DAVID BARLOW	(801) 756 5231
ROCKY MOUNTAIN POWER	TERIA WALKER	(801) 756 1310
COMCAST	ELYSIA VALDEZ	(801) 401 3017
CENTURY LINK	RYAN ALLRED	(385) 223 0084
DOMINION ENERGY	TRENT JOHNSON	(801) 853 6548

SHEET INDEX

- CV COVER SHEET
GN GENERAL NOTES
C1.0 SITE PLAN
C2.0 GRADING PLAN
C2.1 DRAINAGE PLAN
C3.0 UTILITY PLAN
C4.0 DETAIL SHEET
C5.0 DETAIL SHEET
C5.1 DETAIL SHEET
C6.0 EROSION CONTROL PLAN (SWPPP)
C6.1 EROSION CONTROL DETAIL SHEET

General Notes:

CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.

FEMA NOTE:

THIS PROJECT LIES IN A FEMA DESIGNATED FLOOD ZONE AE WHICH IS DEFINED AS AREAS DETERMINED TO BE INSIDE THE 100-YEAR FLOOD PLAIN.
PER MAP NO. 49049C0306F. EFFECTIVE DATE: JUNE 19, 2020.
A FLOOD PLAIN DEVELOPMENT PERMIT IS REQUIRED. THE BASE FLOOD ELEVATION IS 4498 IN NAVD 88. THIS SURVEY FOR THIS PROJECT WAS DONE IN NGVD 29 AND THE BASE FLOOD ELEVATION IN THIS VERTICAL DATUM IS 4495.

DEMOLITION NOTE:

CONTRACTOR TO VISIT SITE AND DETERMINE ALL NECESSARY DEMOLITION REQUIRED TO INSTALL PROPOSED IMPROVEMENTS AND TO FIELD VERIFY ALL NECESSARY DEMOLITION HAS BEEN COMPLETED PRIOR TO CONSTRUCTION.

BENCHMARK
FOUND BRASS CAP MONUMENT
FOR THE NORTHEAST CORNER OF
SECTION 35, 152, R1E, S180M
ELEVATION: 4499.77

Proposed Lot 5 - Roderick Catalyst Phase 2

A parcel of land being part of Parcel 'A' as shown on the Roderick Catalyst Phase 1 Subdivision Plat: recorded October 3, 2019 as Entry No. 10039.2019 Map Filing #16737 in the Office of the Utah County Recorder. Said parcel of land is located in the Northwest Quarter of Section 36 and the Northeast Quarter of Section 35, Township 5 South, Range 1 West, Salt Lake Base and Meridian and described as follows:

Beginning at a point which is 342.01 feet S. 89°30'39" E. along north line of said Section 36 and South 878.18 feet from the Northwest Corner of said Section 36; thence S.00°07'37"W. 533.25 feet; thence N.89°14'38"W. 223.76 feet to a point of curvature to the right, thence northwesterly 53.85 feet along the arc of a 1464.00 foot radius curve, having a central angle of 2°06'27" (chord bears N.88°11'25"W. 53.85 feet) to a point of tangency; thence N.87°08'11"W. 325.15 feet; thence N.0°40'37" E.519.47; thence S.89°19'23" E. 602.51 feet to the Point of Beginning.

The above described parcel of land contains 318,756 square feet or 7.318 acres, more or less.

CIVIL ENGINEER:
CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LANE, STE. 102
SOUTH JORDAN, UT 84095 - PH: 801-949-6296

ARCHITECT:
AE URBIA
909 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
CONTACT PERSON: SHAWN EATON
PH: (801) 746-0456

OWNER:
RODERICK ENTERPRISES
1214 VINE STREET
SALT LAKE CITY, UTAH 84121
CONTACT PERSON: MIKE Roderick
PH: (801) 506-5005

5.6.b
CIVIL ENGINEERING + SURVEYING
10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296
Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)
COVER SHEET
268 EAST 1600 SOUTH, AMERICAN FORK, UT 84003
Roderick Catalyst-Business Park Building #5
SHEET NO. CV
PROJECT ID: R1034-01
DATE: 07/01/21
FILE NAME: PRJ-RC5
SCALE:
Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

GENERAL NOTES

- City of American Fork, A.P.W.A, Utah Chapter and Utah Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of American Fork Item Numbers unless otherwise noted.
- The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
- The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Road Cut Permits and Notices of Intent (NOI), Building Permits, etc.
- The Contractor shall notify the City of American Fork, Public Works Department in writing at least 7 working days prior to beginning construction and request a pre-construction meeting. Bond for public improvements and inspection fees must be paid in full prior to requesting a pre-construction meeting.
- The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the City of American Fork, Public Works Department, that documents "as _ built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the constructions drawings.
- The Contractor shall restrict construction activity to public right_of_way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by a License Utah Professional Surveyor as approved by the City Engineer.
- Non_rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
- The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross_sections that existed before construction.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
- Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) must be approved by the City Engineer.
- All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of American Fork. Precast concrete products without proof of inspection shall not be approved for installation.
- All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours.
- Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
- All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 – inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater.
- Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
- Permits to construct in the right-of-way of existing streets must be obtained from the City of American Fork, Public Works Department before commencing construction.
- The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
- Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as required by the City Engineer.
- The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and the City of American Fork standard construction drawings.
- Any modification to the work shown on drawings must have prior written approval by the City Engineer.
- Traffic control and other regulatory signs shall comply with the Utah Department of Transportation Traffic Control guidelines and MUTCD Manual, current edition
- Public street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a green background.
- Private street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a blue background

UTILITIES

- The following utilities are known to be located within the limits of this project:

COMPANY	CONTACT	PHONE
QWEST	– TELEPHONE	Darren Keller (801) 356 6975
PACIFIC CORP	– POWER	Dennis Patten (801) 756 1344
COMCAST	– CABLE	Sheryl Pearson (801) 401 3023
QUESTAR GAS	– GAS	Steve Adams (801) 324 3383
AMERICAN FORK CITY	– WATER	Jay Brems (801) 404 6129
AMERICAN FORK CITY	– SEWER	Aaron Brems (801) 404 6126
AMERICAN FORK CITY	– STORM	Aaron Brems (801) 404 6126
AMERICAN FORK CITY	– SWPPP	Harlan Nielson (801) 404 6361
AMERICAN FORK CITY	– P.I.	Jay Brems (801) 404 6129
- The Contractor shall give notice of intent to construct to Blue Stake (telephone number 800_662–4111) at least 2 working days before start of construction.
- The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of American Fork and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
- Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
- When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

TRAFFIC CONTROL

- Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Utah Department Of Transportation, Traffic Control guidelines or Manual of Uniform Traffic Control Devices, current edition.
- All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer.
- At all other hours the Contractor shall maintain minimum one _ lane two _ way traffic. Traffic circulation must be supervised by a Certified Flagger.
- Steady _ burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
- Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles.
- The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein.
- The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
- Traffic Control requiring road closures and/ or detouring must be approved by the City Council.

EROSION AND SEDIMENT CONTROL

- The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Utah DWQ.
- The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A project location map must be submitted with the NOI.
- A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times.
- A UPDES Storm water Discharge Permit may be required. The Contractor shall be considered the Permittee.
- The Contractor shall provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
- Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
- The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
- Disturbed areas that will remain un-worked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance.
- Other sediment controls that are installed shall be maintained until vegetative growth has been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

WATER LINE

- All water line materials shall be provided and installed according to current specifications of the City of American Fork, Water Department.
 - All public water pipe with a diameter 3 inches to 8 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54.
 - Only fire hydrants conforming to City of American Fork standards will be approved for use.
 - Public water lines shall be disinfected by the City of American Fork, Water Department. Requests for water line chlorination shall be made through the City of American Fork, Water Department. The cost for chlorination shall be paid for by the Contractor.
 - All water lines shall be disinfected according to City of American Fork Standard specifications. Special attention is directed to applicable sections of American Water Works Association specification C_651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7).
 - Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications. When water lines are ready for disinfection, the Contractor shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of American Fork, Water Department.
 - The Contractor shall be responsible for all costs associated with the disinfection of all water lines construction per this plan. Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications.
 - The Contractor shall paint all fire hydrants according to City of American Fork standards. The cost of painting fire hydrants shall be included in the contract unit price for fire hydrants.
 - No water taps or service connections (e.g., to curb stops or meter pits) may be issued until adjacent public water lines serving the construction site have been disinfected by the City of American Fork, Water Department and have been accepted by the Public Works Department.
 - The Contractor shall notify the City of American Fork, Water Department at (801) 763 3060 at least 24 hours before tapping into existing water lines.
 - All water main stationing shall be based on street centerline stationing.
 - All bends, joint deflections and fittings shall be backed with concrete per City of American Fork standards.
 - The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.
 - All water lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of water line. Water lines shall be set deeper at all points where necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.
- SANITARY SEWER
- Sanitary sewage collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of American Fork, Public Works Department and the Utah Department of Health Code and Regulations.
 - The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, or PVC sewer pipe ASTM D3034, SDR 35.
 - Pipe for 6-inch diameter house service lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of American Fork Construction Inspection Division quality control requirements.
 - All manhole lids shall be provided with continuous self-sealing gaskets.
 - The approved construction drawings shall show where bolt_down lids are required.
 - Sanitary sewer manholes shall be precast concrete or as approved by the City Engineer and conform to the City of American Fork sanitary manhole standard drawing. Manhole lids shall include the word SEWER.
 - All PVC sewer pipes shall be deflection tested no less than 60 days after completion of backfilling operations.
 - At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
 - Visible leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
 - Roof drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to the American Fork Code of Ordinances.
 - All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable.
 - Where sanitary sewers cross water mains or other sewers or other utilities, trench backfill shall be placed between the pipes crossing and shall be compacted granular material according to the city Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
 - Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the related items.
 - The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes.
 - All sewer lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of sewer line.

STORM SEWER

- All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro _ seeded and hydro _ mulched according to the City of American Fork Standard Specifications.
- Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
- Granular backfill shall be compacted granular material according to American Fork City Standard Specifications.
- All public storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
- Headwalls and end walls shall be required at all storm sewer inlets or outlets to and from storm water management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or end walls surfaces.
- Storm inlets or catch basins shall be channelized and have bicycle safe grates. Manhole lids shall include the word STORM.
- Storm sewer outlets greater than 18 inches in diameter accessible from storm water management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.

STRIPING AND SIGNING

- All striping must be done following Utah Department of Transportation guidelines and MUTCD Manual recommendations, current edition.
- All signing must be done following MUTCD Manual recommendations, current edition.
- Only sand-blasting is allowed for removal of existing striping.
- Contractor is responsible for removal of conflicting existing striping.
- Materials used for striping must comply with the Utah Department of Transportation standard specifications.

MAIL DELIVERY

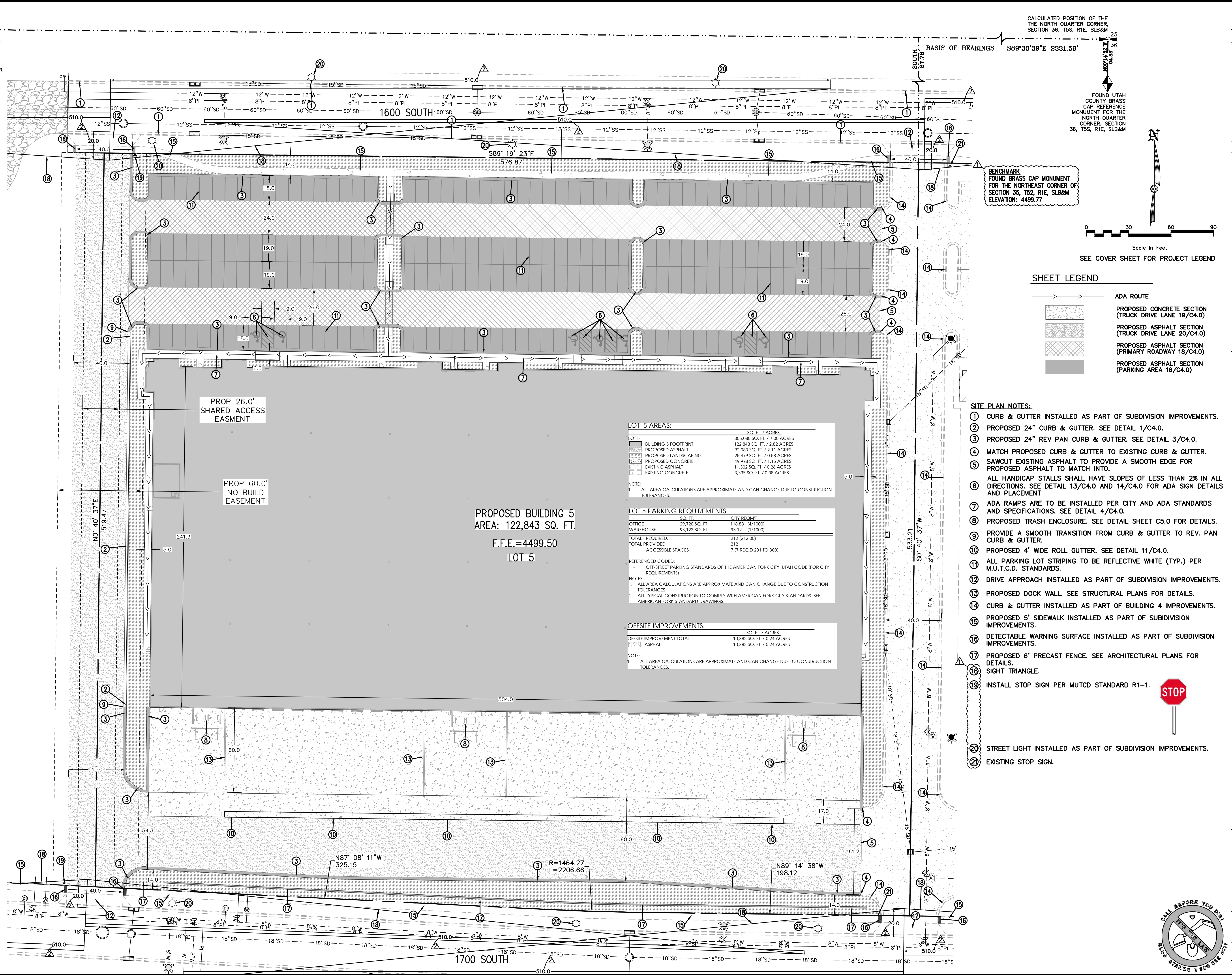
- The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations.
- This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location.
- Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
- Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

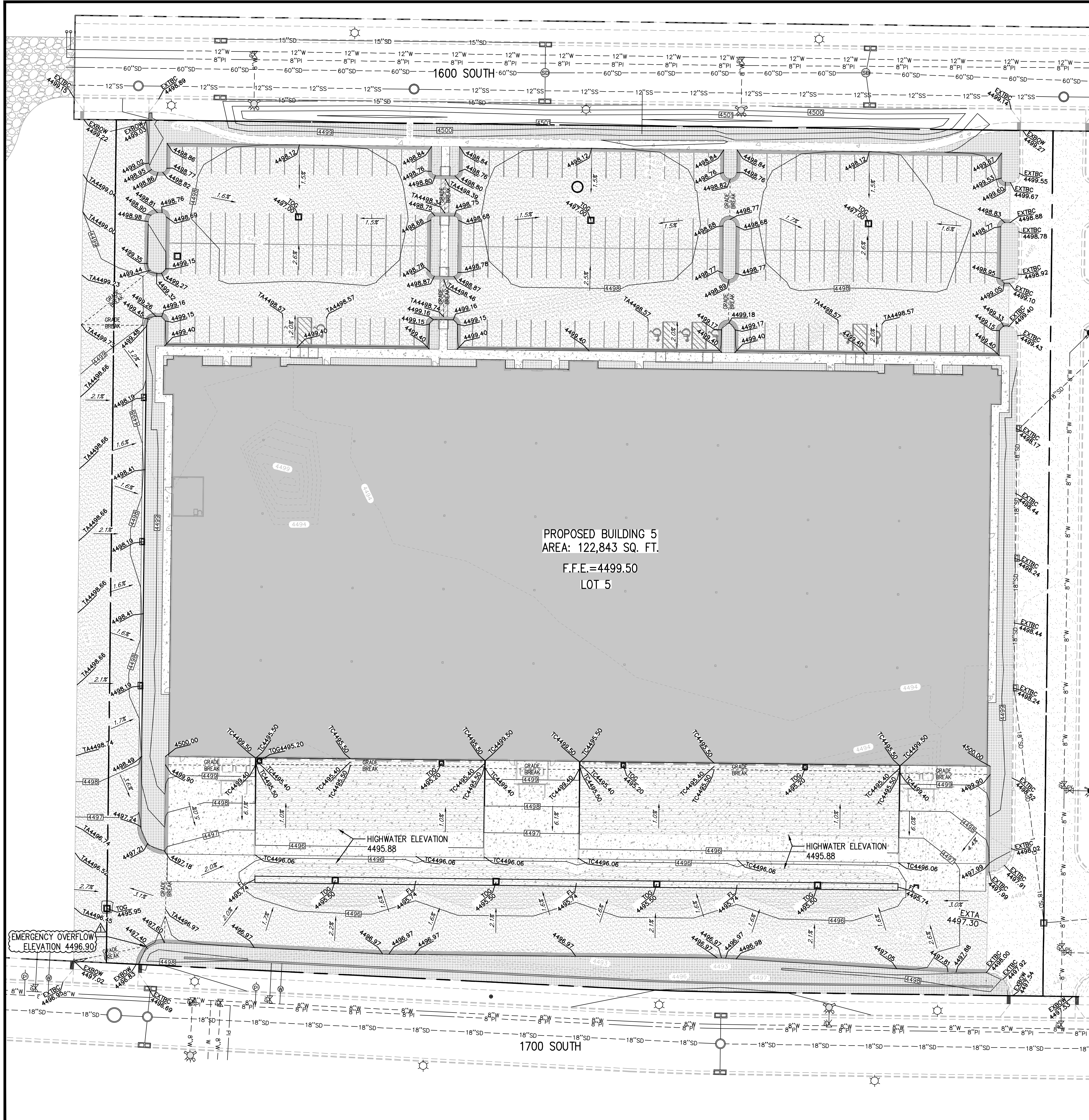
USE OF FIRE HYDRANTS

- The Contractor shall make proper arrangements with the American Fork City, Water Department for the use of fire hydrants when used for work performed under this project's approval.

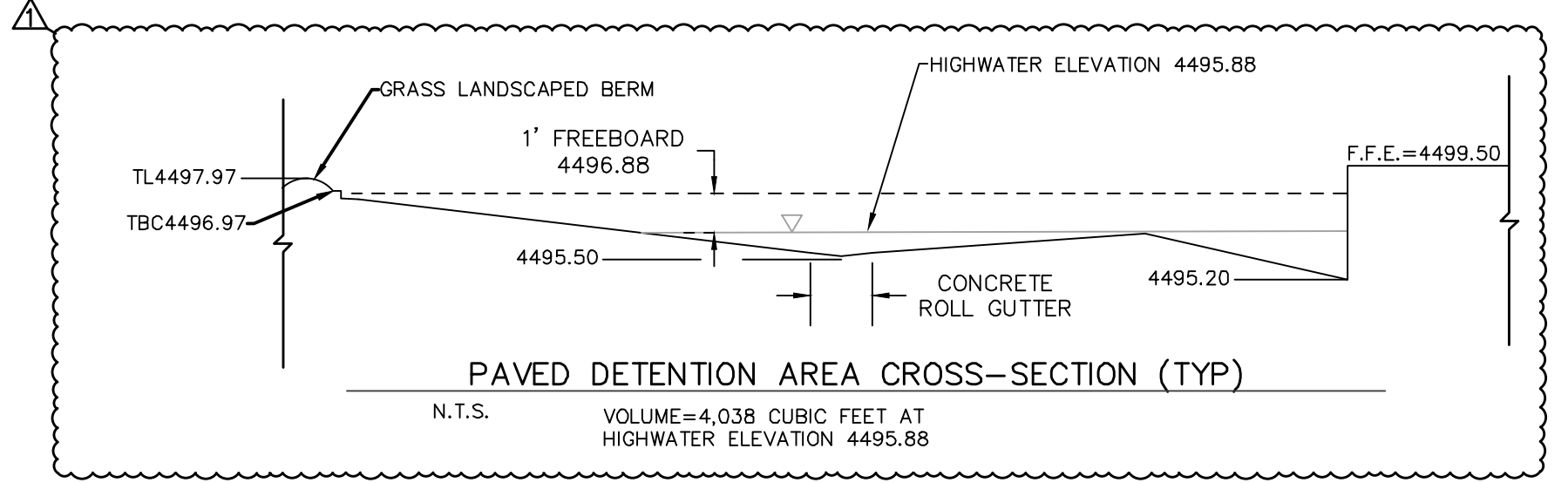
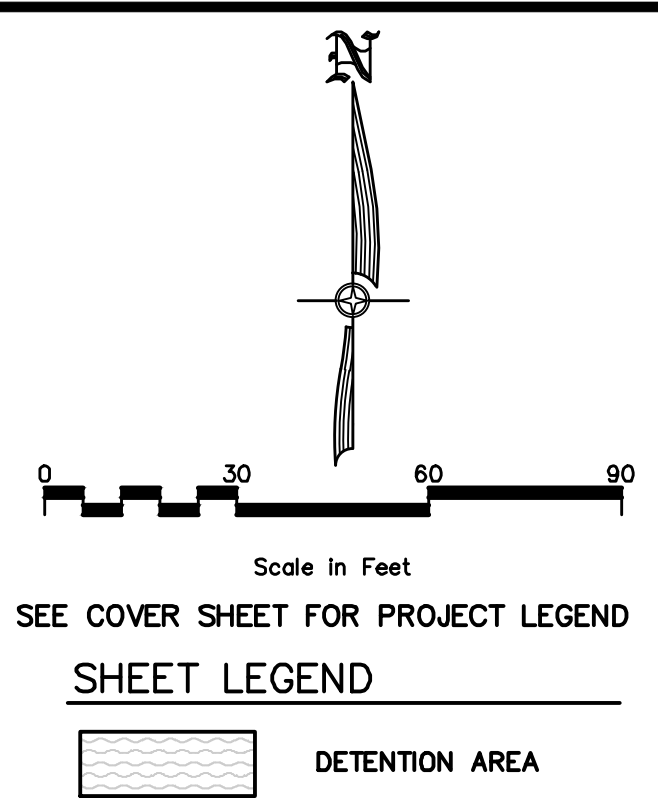


11/22/21		07/09/22								BY DATE		REVISIONS		PROJECT ENGINEER: TLH	
1		2		3		4		5		6		7		8	
COMMENTS		COMMENTS													
CIVIL ENGINEERING + SURVEYING															
10718 SOUTH BECKSTEAD LN, STE. 102 SOUTH JORDAN, Utah 84095 – 801-949-6296															
Roderick Catalyst Building #5 268 EAST 1600 SOUTH, AMERICAN FORK, UT 84003															
GENERAL NOTES															
Attachment: 02.08.22 - Roderick Catalyst Building #5 - site plan (Roderick Catalyst Business Park Building 5 site plan)															
PROFESSIONAL ENGINEER No. 12072623 TREVOR L. HODGSON STATE OF UTAH															
SHEET NO. GN															
PROJECT ID: R1034-01 DATE: 07/01/21															
FILE NAME: PRJ-RC5 SCALE:															





GRADING NOTE:
AVERAGE EDGE OF ASPHALT ELEVATION IN ADJACENT 1600 SOUTH=4498.50
AVERAGE EDGE OF ASPHALT ELEVATION IN ADJACENT 500 EAST=4496.38
AVERAGE EDGE OF ASPHALT ELEVATION IN ADJACENT 1700 SOUTH=4496.73
BOTTOM OF FOOTING ELEVATION=4493.10



REVISIONS		BY	DATE
NO			

1	COMMENTS
1	
2	

CIVIL ENGINEERING + SURVEYING
C1R
10718 SOUTH BECKSTEAD LN., STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296
DESIGNER: TLH
PROJECT ENGINEER: TLH

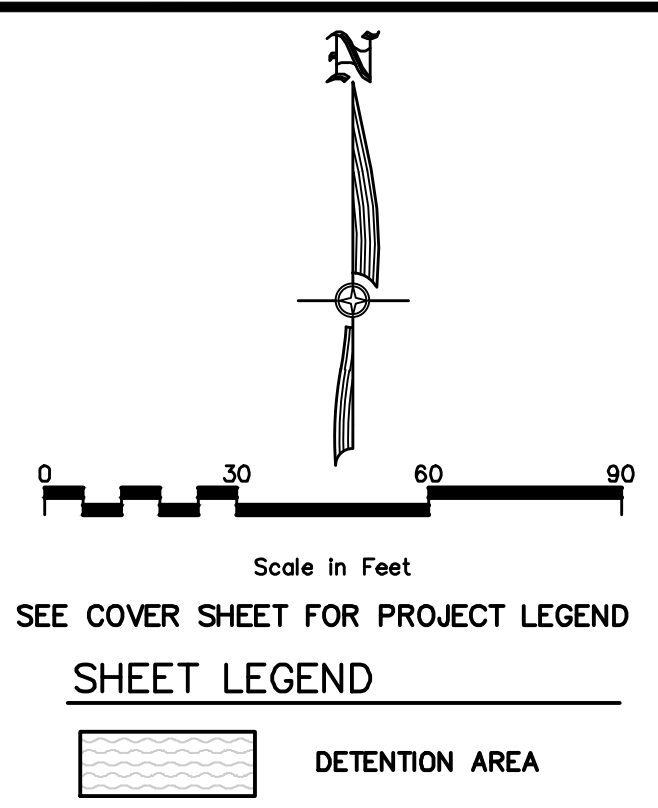
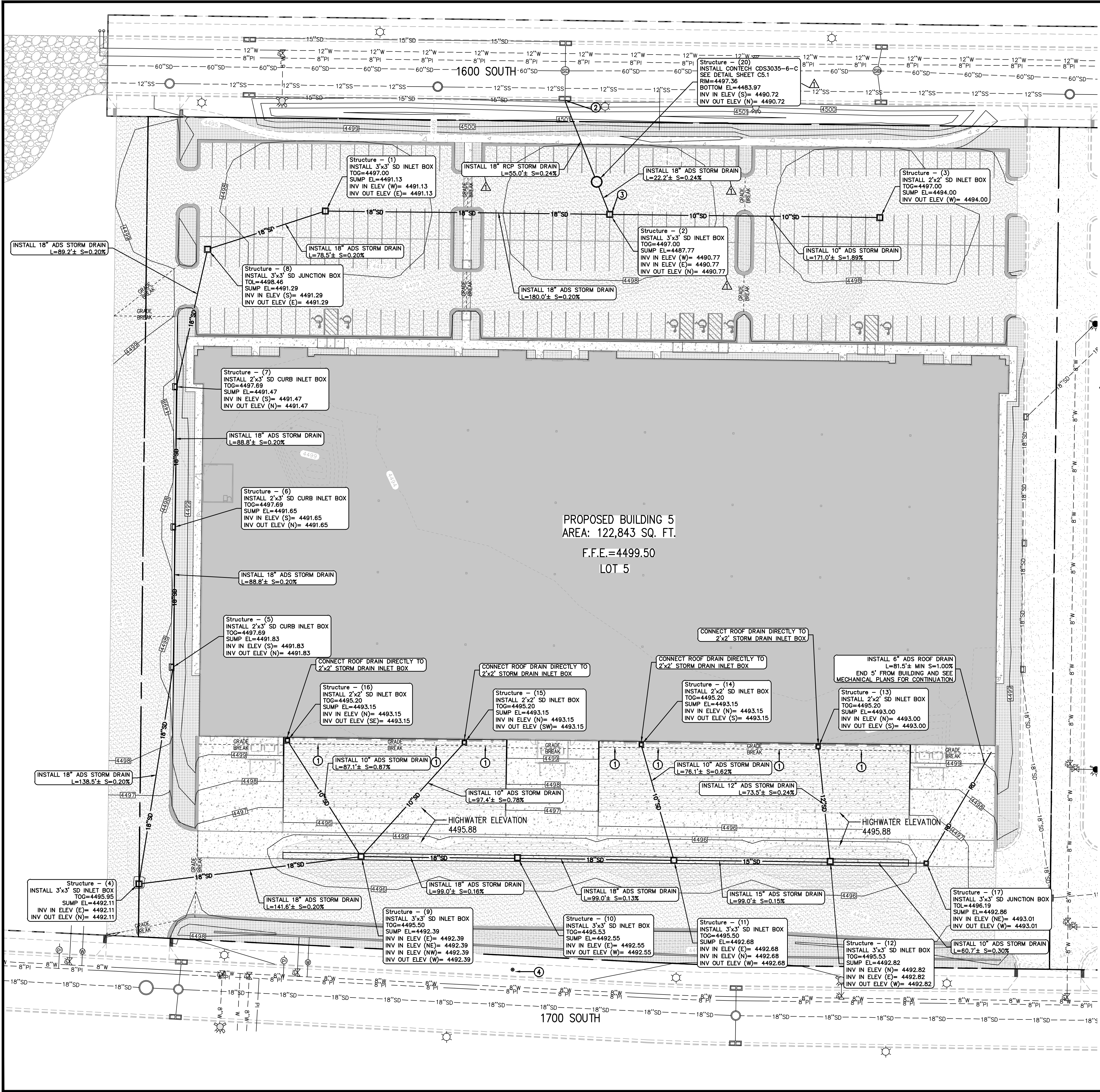
PROFESSIONAL ENGINEER
No. 12072623
TREVOR L. HODGSON
STATE OF UTAH

CALL BEFORE YOU DIG
BLUE STAKES 1 800 669 8474

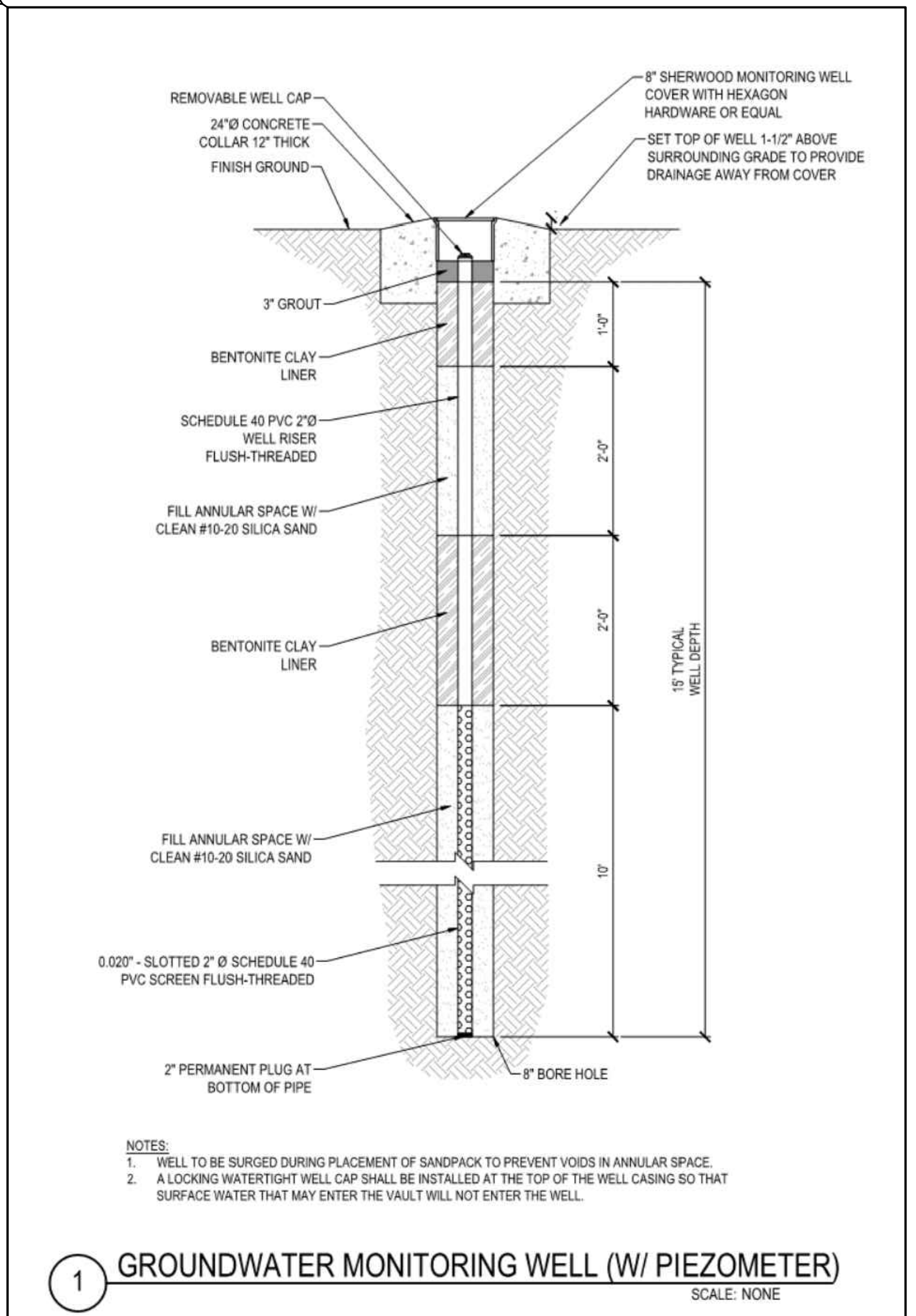
GRADING PLAN
Roderick Catalyst-Business Park Building #5
268 EAST 1600 SOUTH, AMERICAN FORK, UT 84003
Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

SHEET NO. **C2.0**
PROJECT ID: R1034-01
DATE: 07/01/21
FILE NAME: PRJ-RC5
SCALE: 1"=30'

Packet Pg. 54



- SHEET NOTES:**
- ① SEE DETAIL 6/C4.0 FOR TYPICAL DOCK AREA GRADING AND SHEET C2.0 FOR ELEVATIONS. 4" FROM BUILDING 4" BELOW FINISHED FLOOR ELEVATION. CONCRETE WITHIN 4" OF BUILDING TO BE FORMED TO DIRECT STORM WATER RUNOFF TOWARDS PROPOSED INLET BOXES.
 - ② CONNECT PROPOSED 24" STORM DRAIN PIPE TO EXISTING STORM DRAIN INLET BOX AT I.E.=4490.59.
 - ③ INSTALL 14.4" ORIFICE PLATE. SEE DETAIL 9/C4.0.
 - ④ INSTALL GROUNDWATER MONITORING WELL (W/PIEZOMETER). SEE DETAIL 1 THIS SHEET.



1 COMMENTS		2 COMMENTS		NO		REVISIONS		BY DATE		PROJECT ENGINEER: TLH	
1		2		3		4		5		6	

CIVIL ENGINEERING
SURVEYING

CIR

10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296

RODERICK CATALYST-BUSINESS PARK BUILDING #5

268 EAST 1600 SOUTH, AMERICAN FORK, UT 84003

GRADING & DRAINAGE PLAN

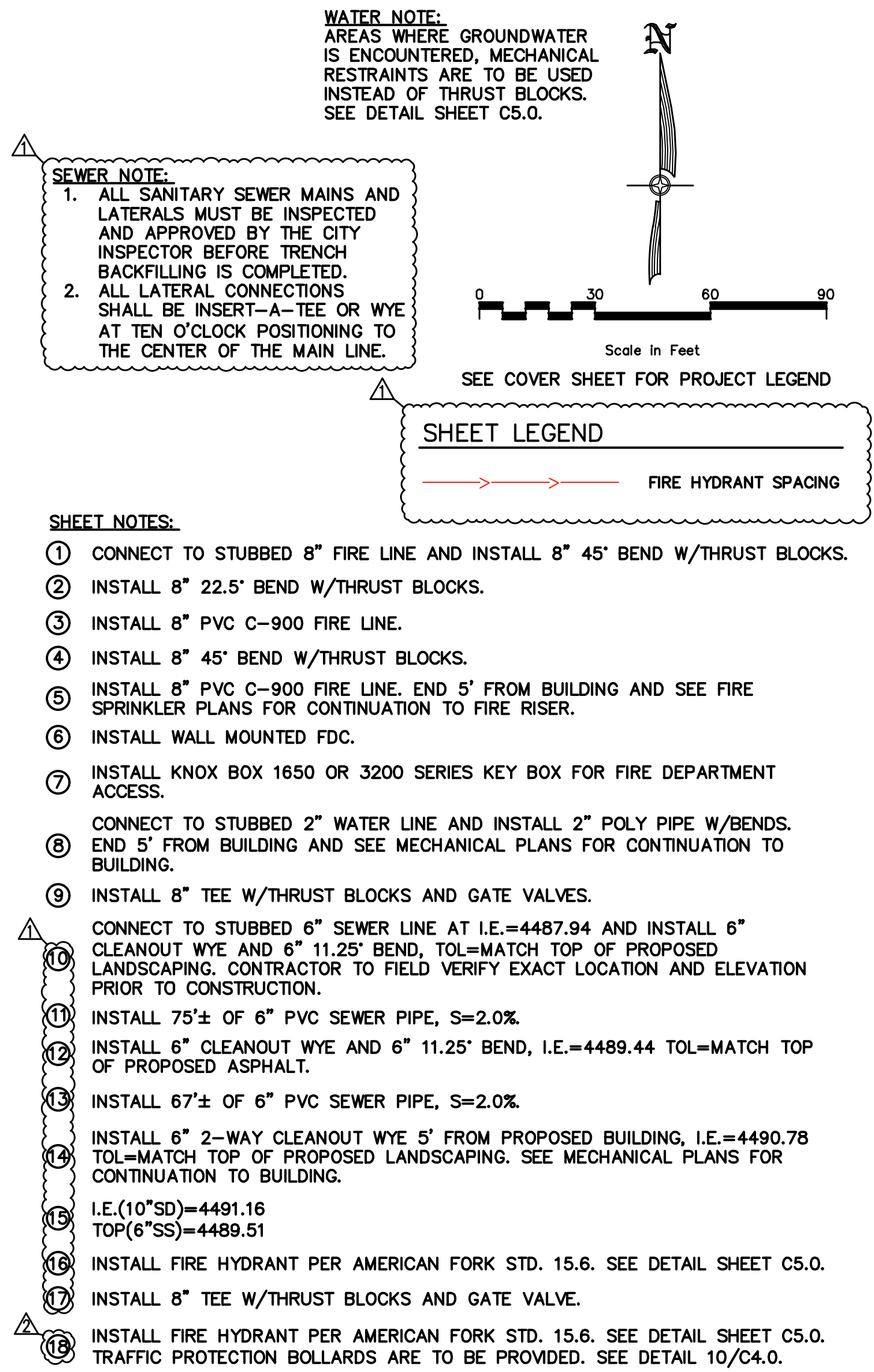
Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

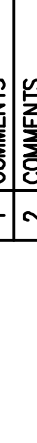

Packet Pg. 55

PROFESSIONAL ENGINEER
No. 12072623
TREVOR HODGSON
STATE OF UTAH

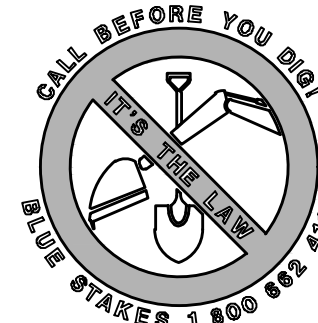
SHEET NO.
C2.1

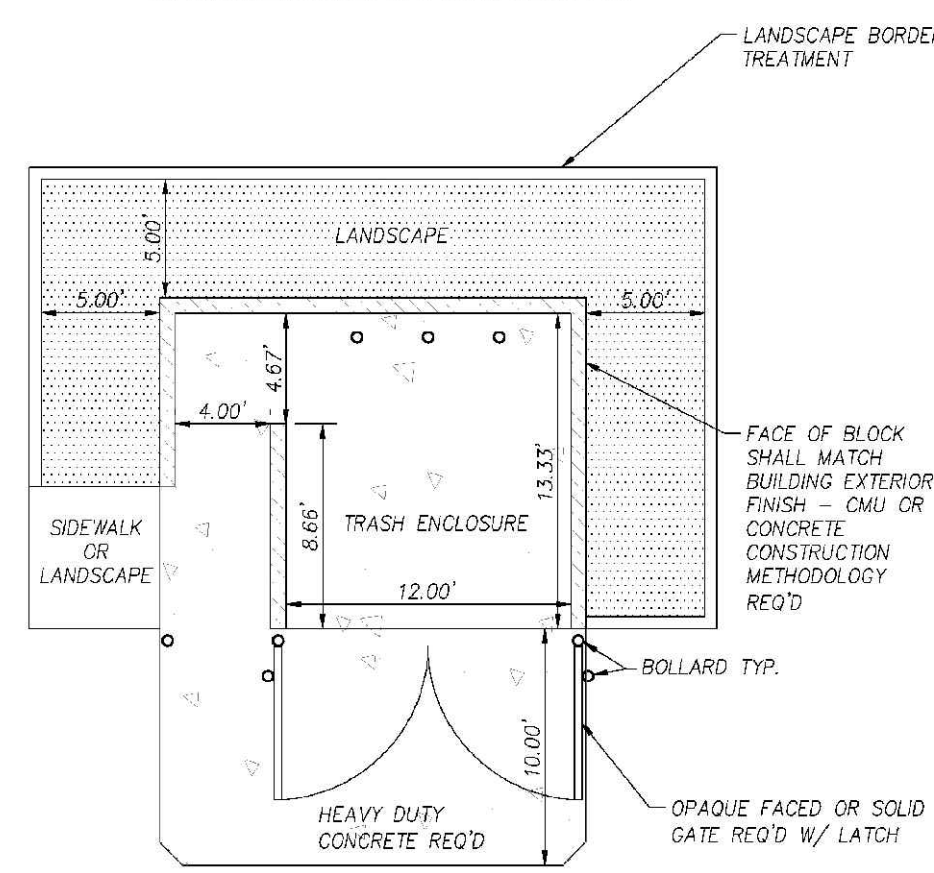
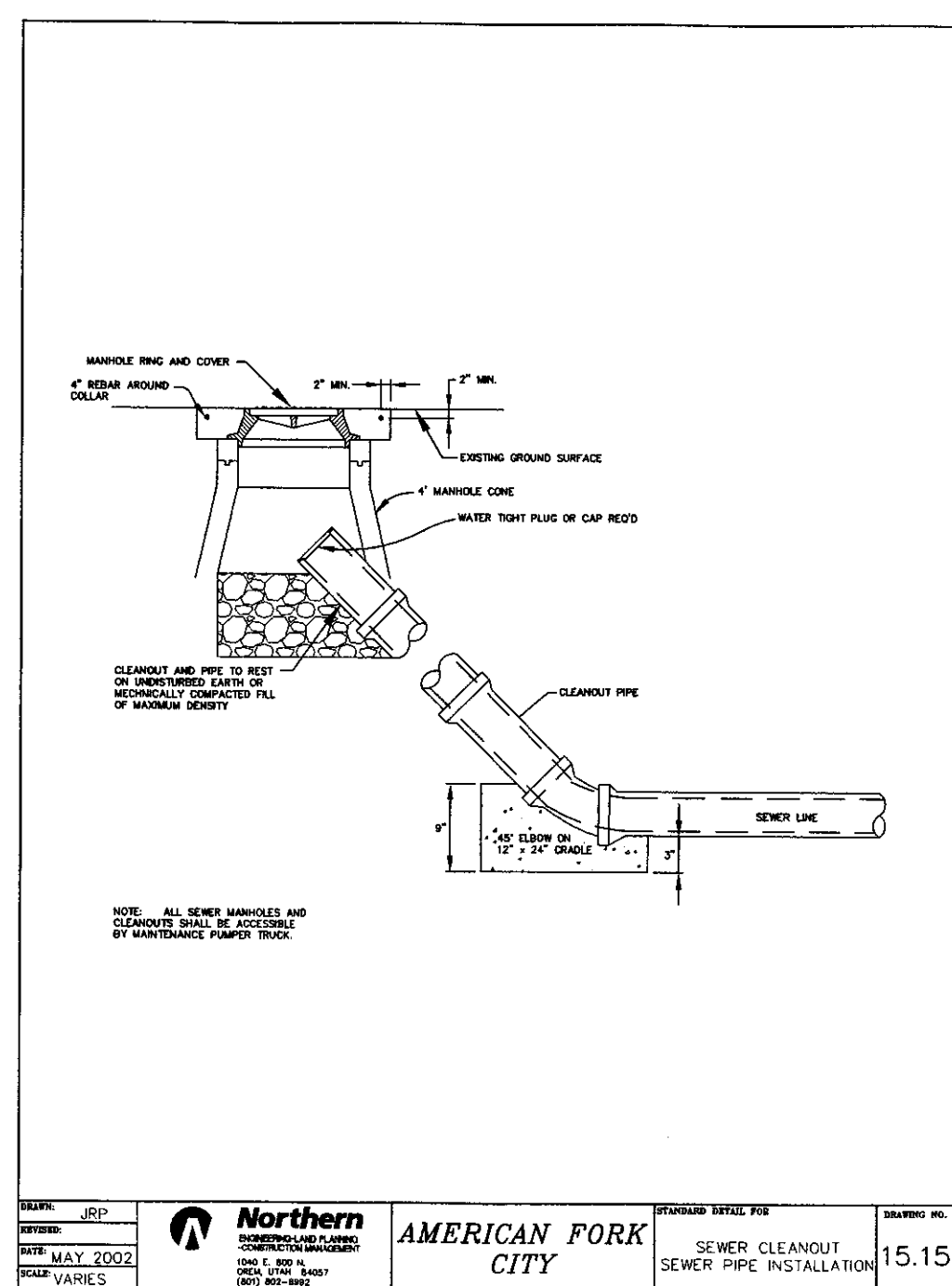
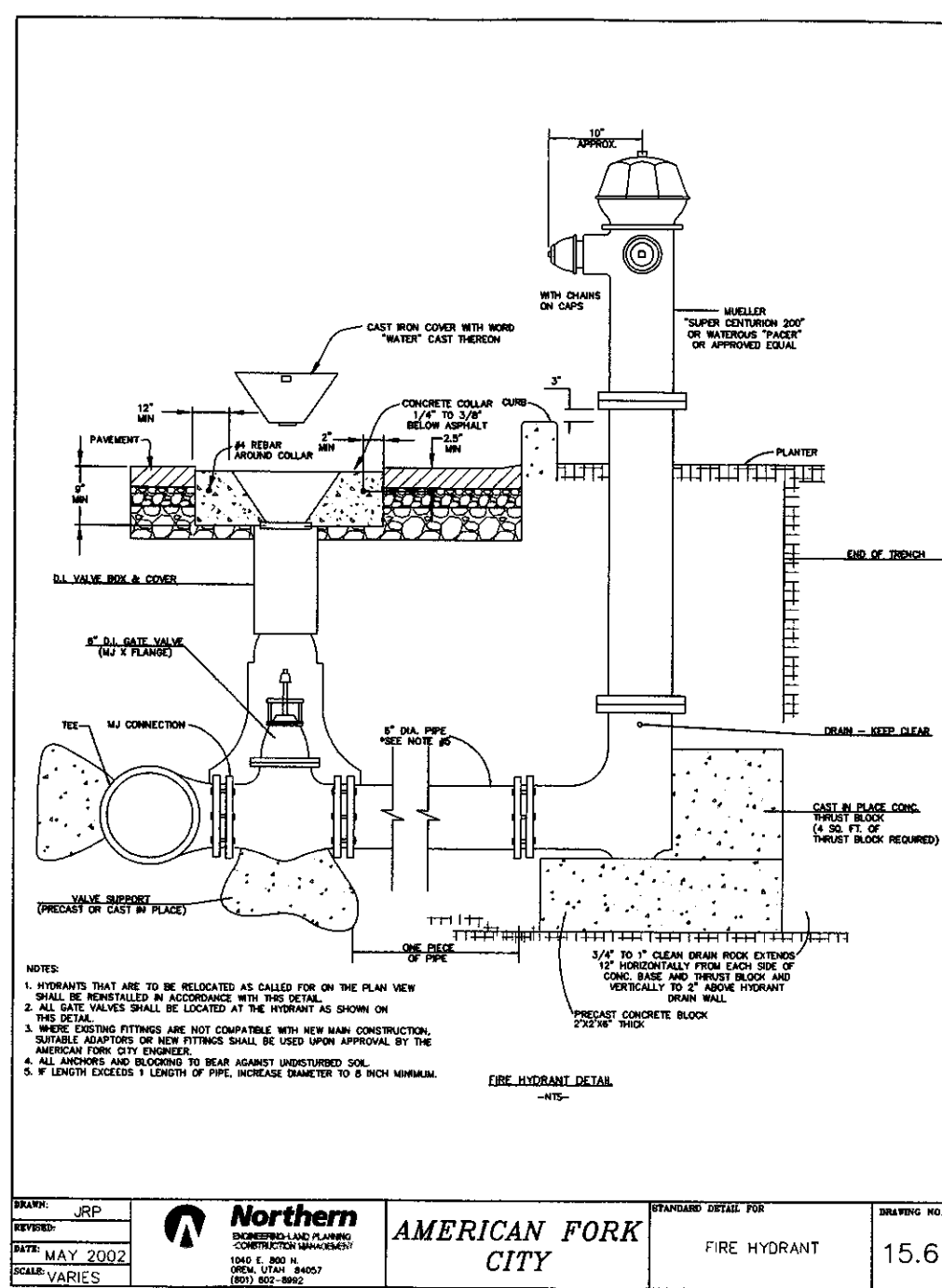
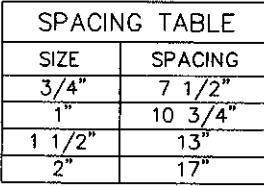
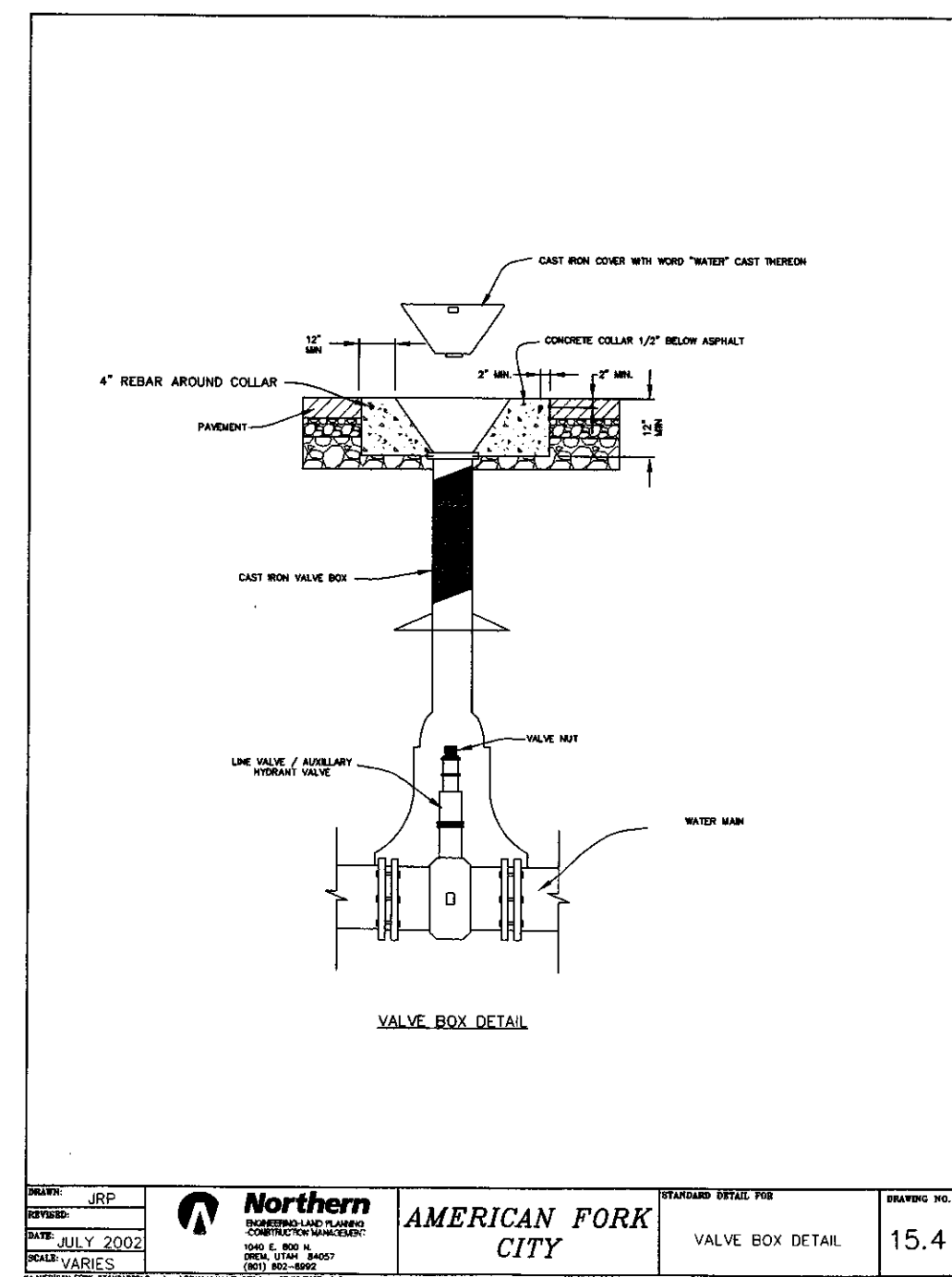
PROJECT ID: R1034-01
DATE: 07/01/21
FILE NAME: PRJ-RC5
SCALE: 1"=30'



		RODERICK CATALYST—BUSINESS PARK BUILDING #5 268 EAST 1600 SOUTH, AMERICAN FORK, UT 84003 UTILITY PLAN			
SHEET NO. C3.0					
PROJECT ID: R1034-01		DATE: 07/01/21			
FILE NAME: PRJ-RC5		SCALE: 1"=30'			

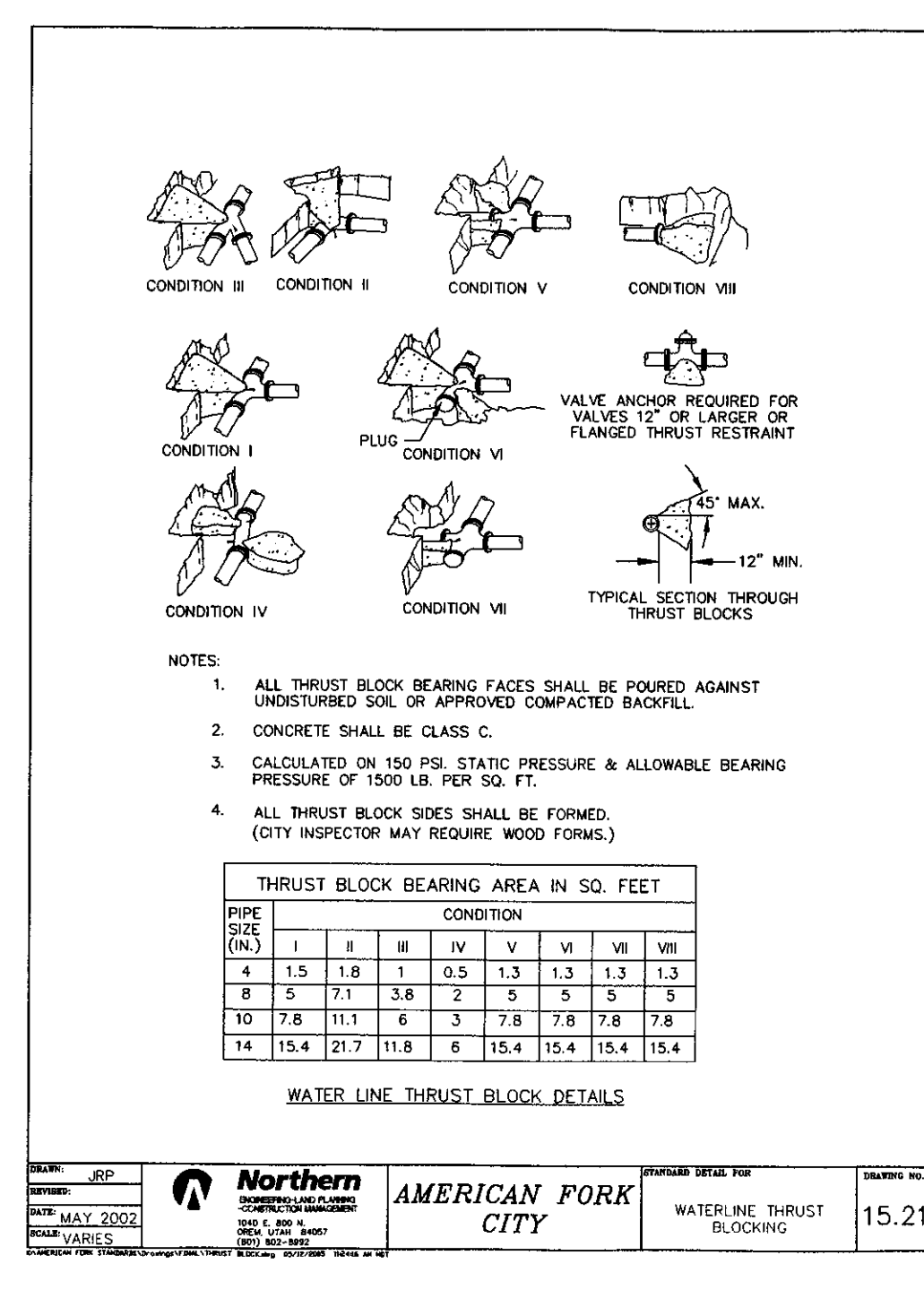
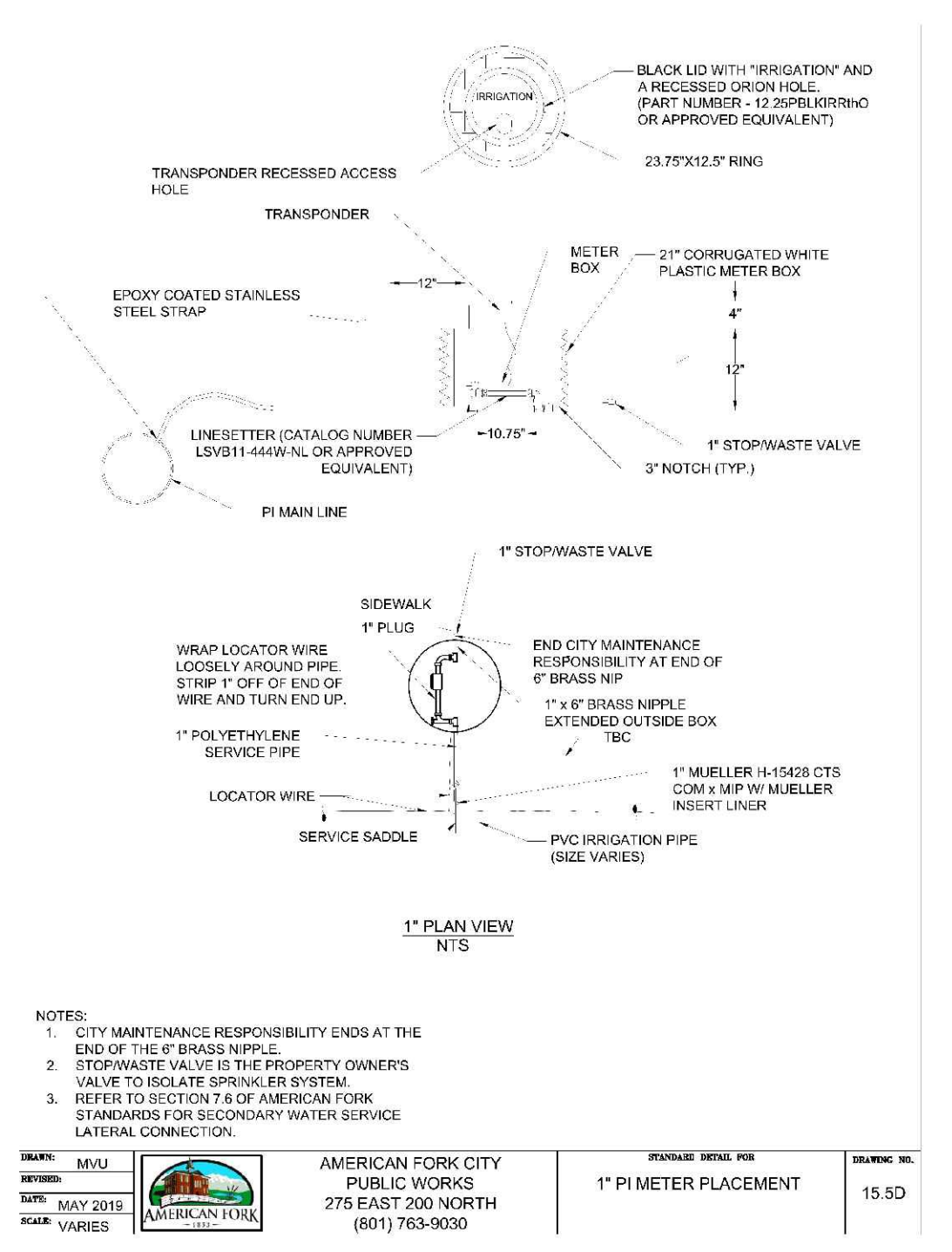
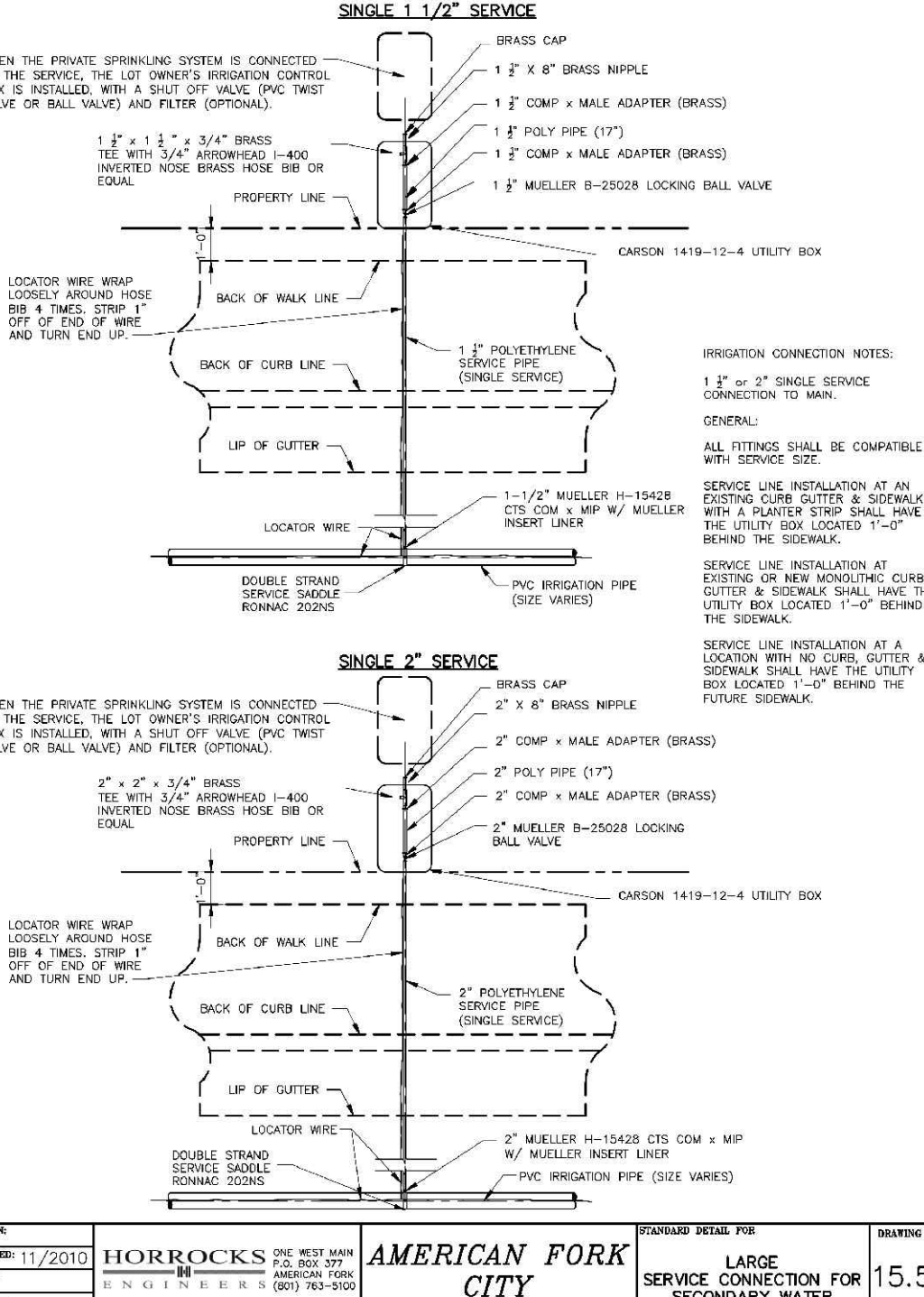
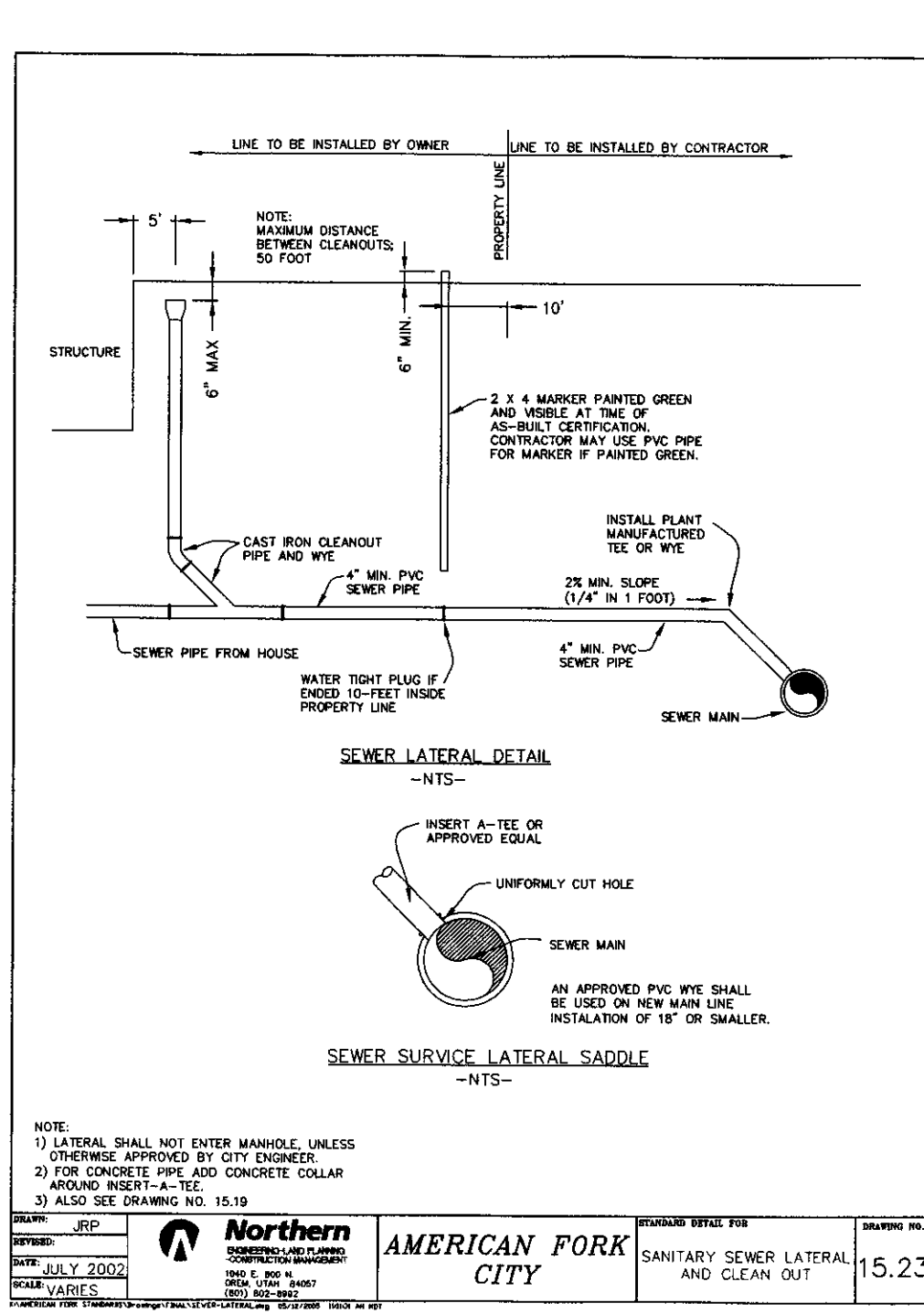
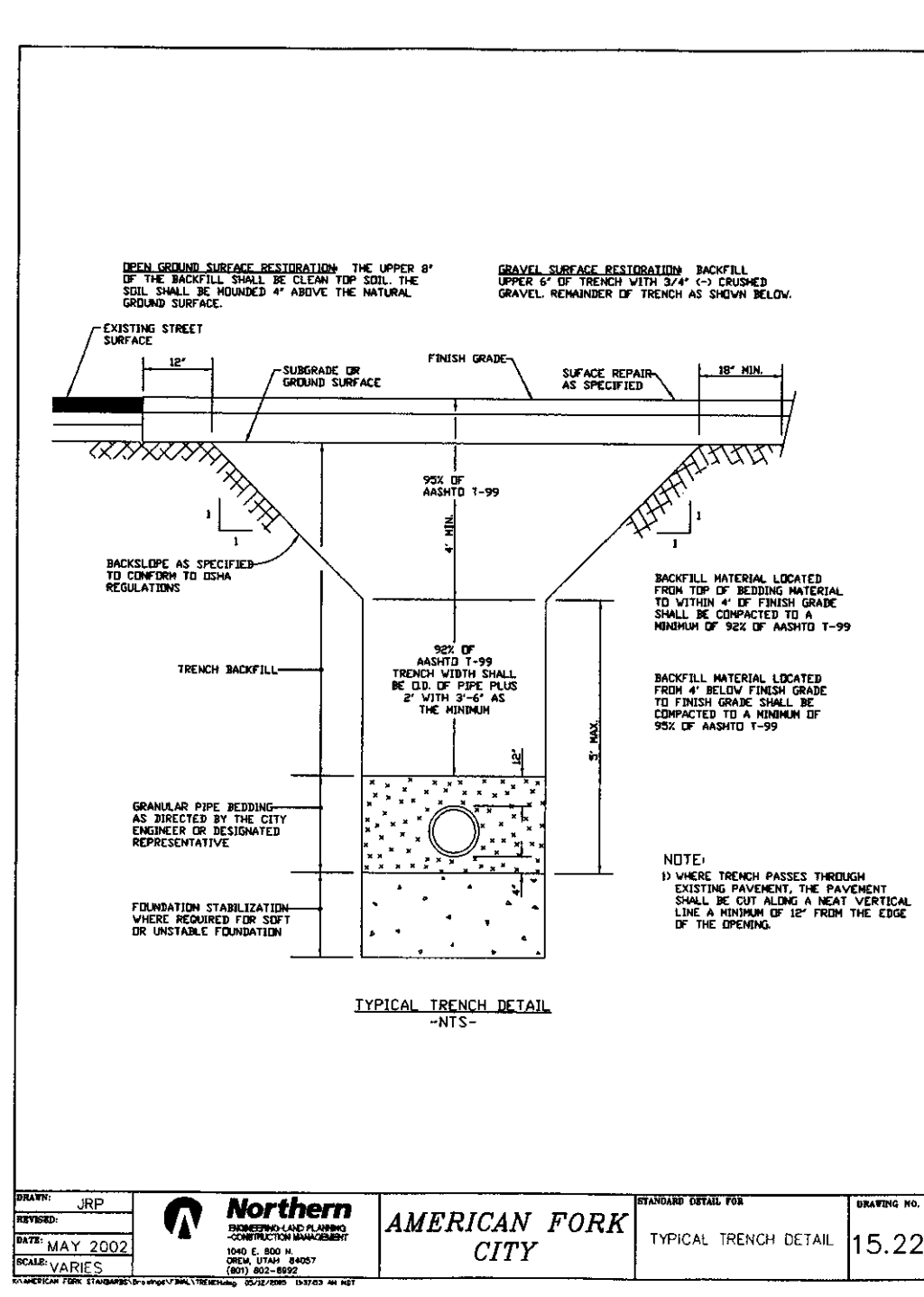
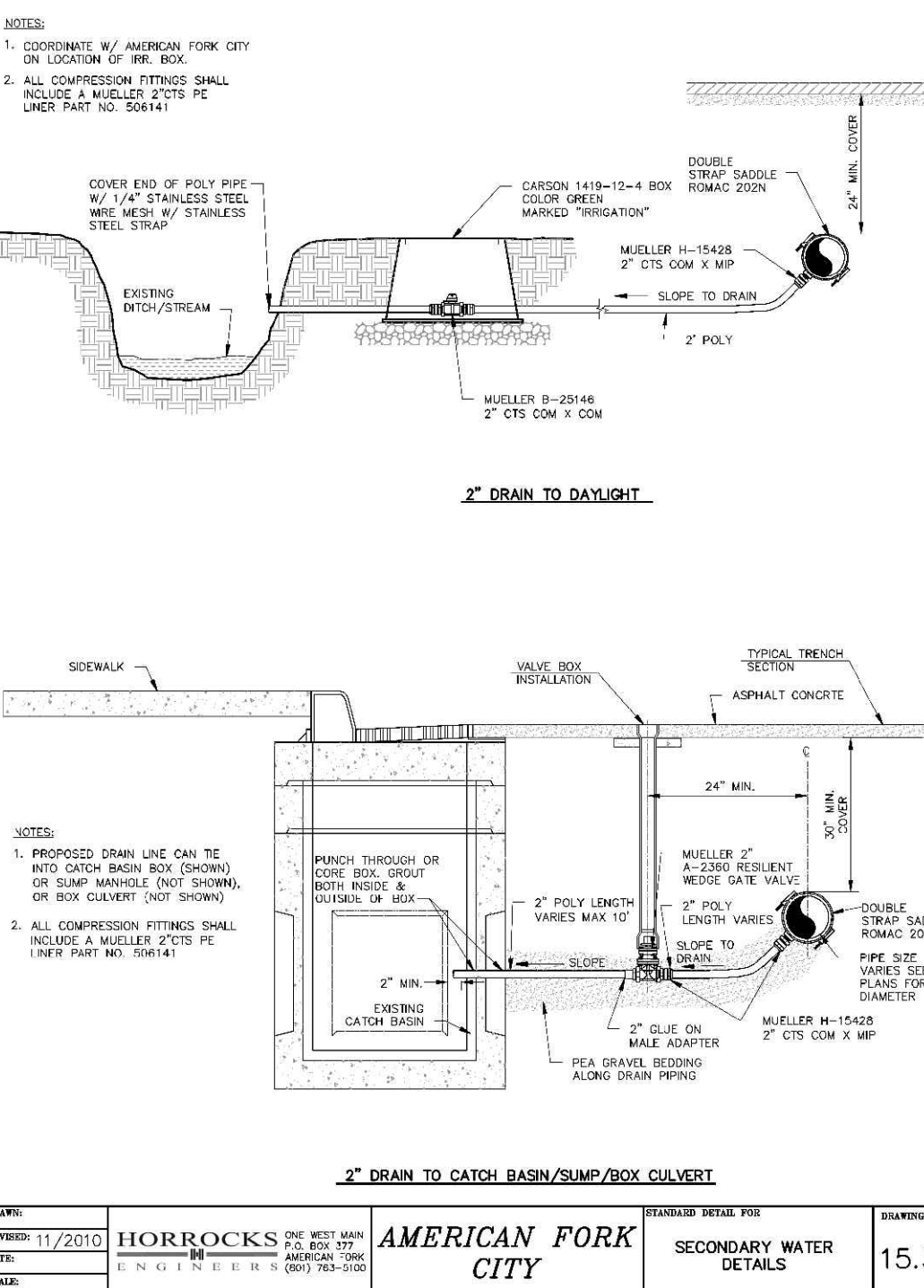
CIVIL ENGINEERING + SURVEYING		10718 SOUTH BECKSTEAD LN, STE. 102 SOUTH JORDAN, Utah 84095 - 801-949-6796	
1	COMMENTS	TLH	11/22/21
2	COMMENTS	TLH	07/09/22
NO.	REVISIONS	BY	DATE
DESIGNER: TLH		PROJECT ENGINEER: TLH	



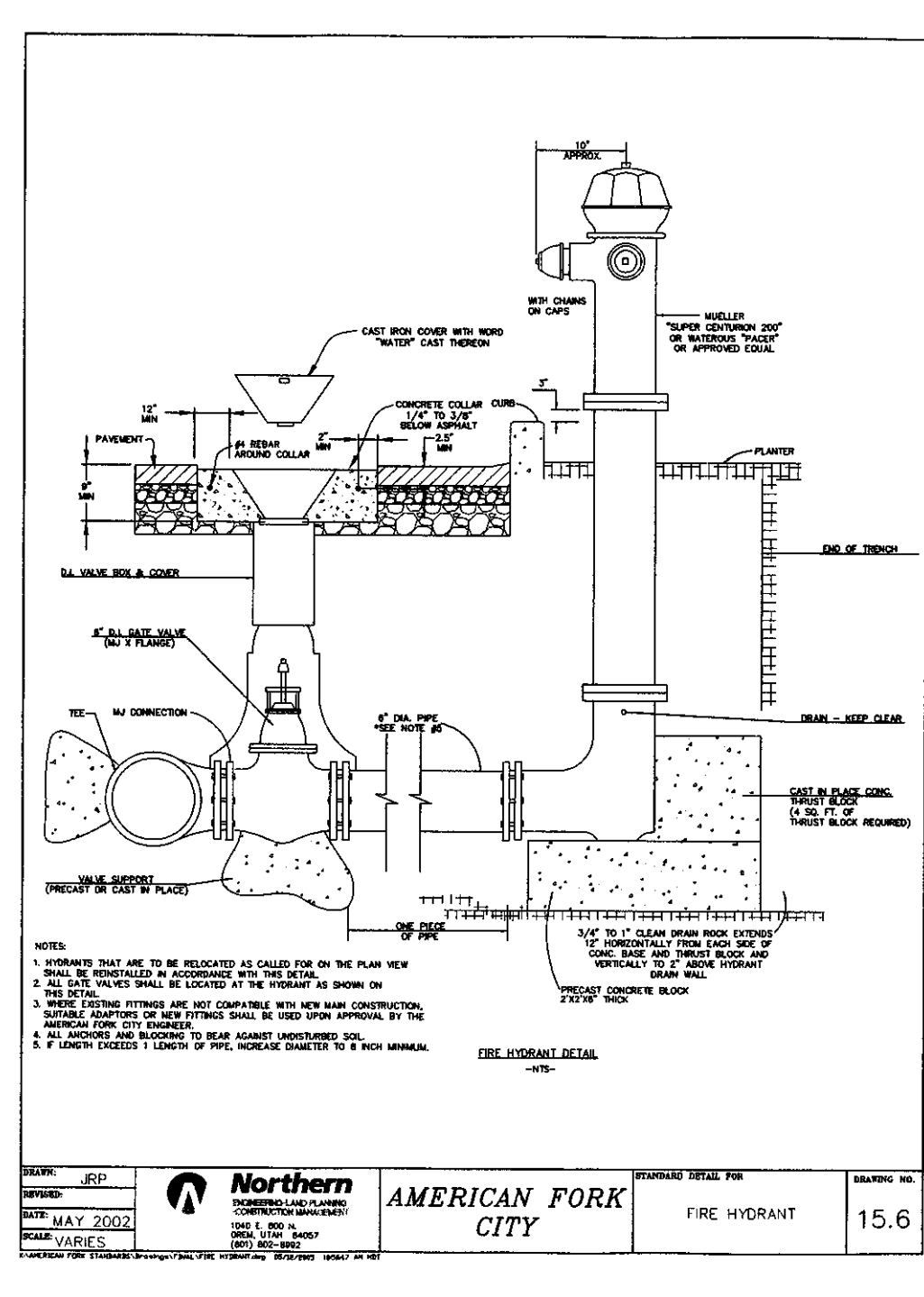
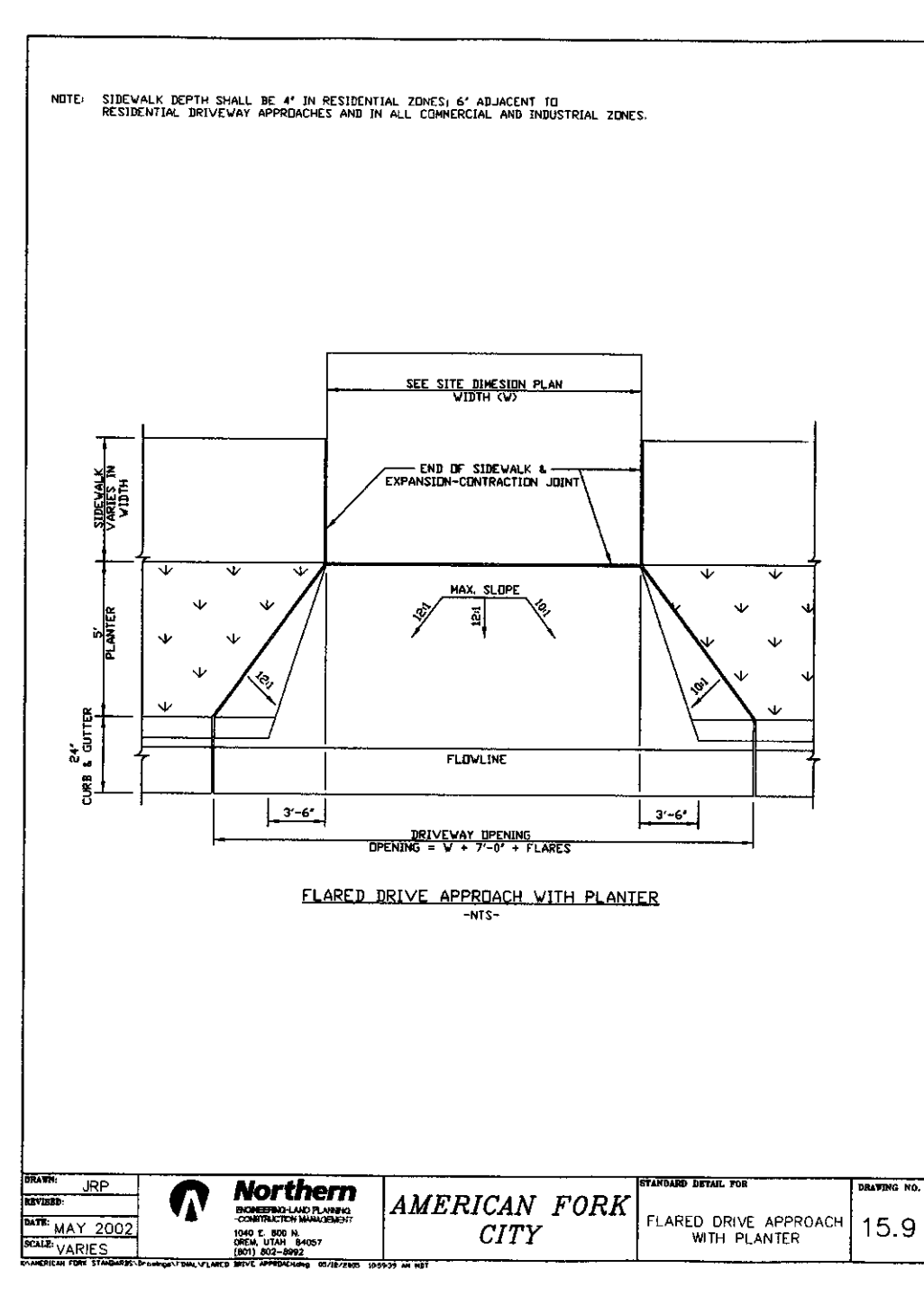
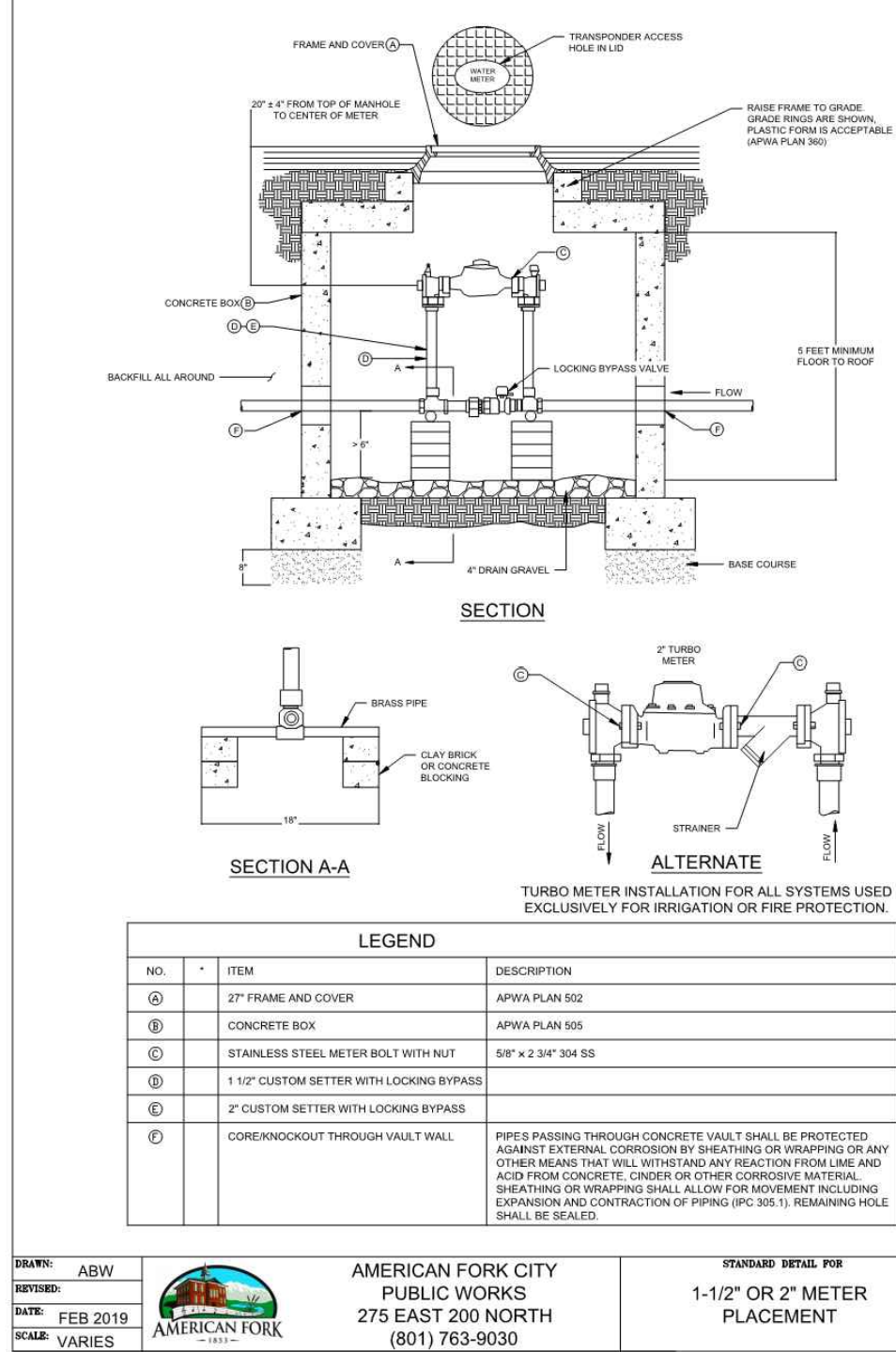
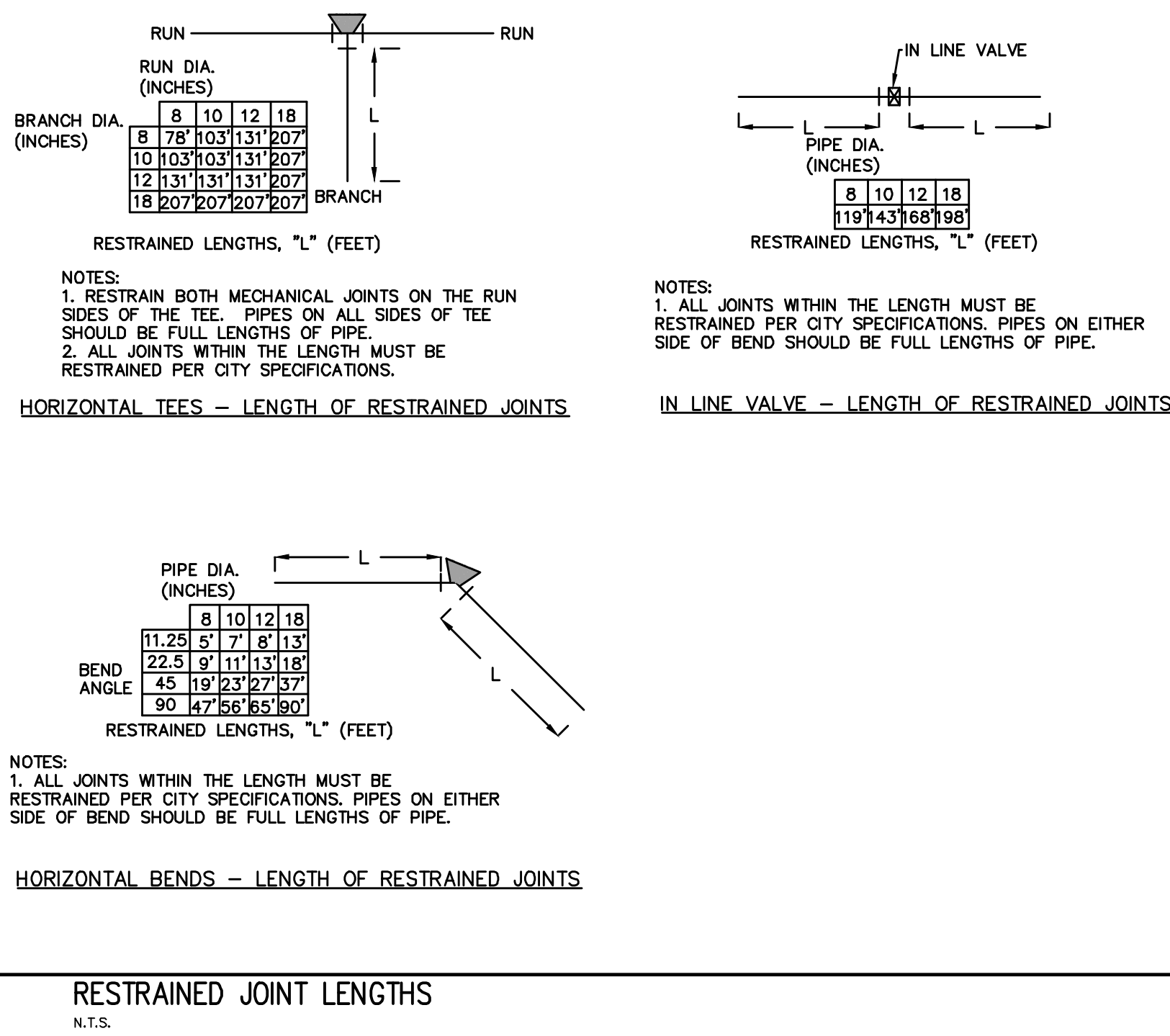


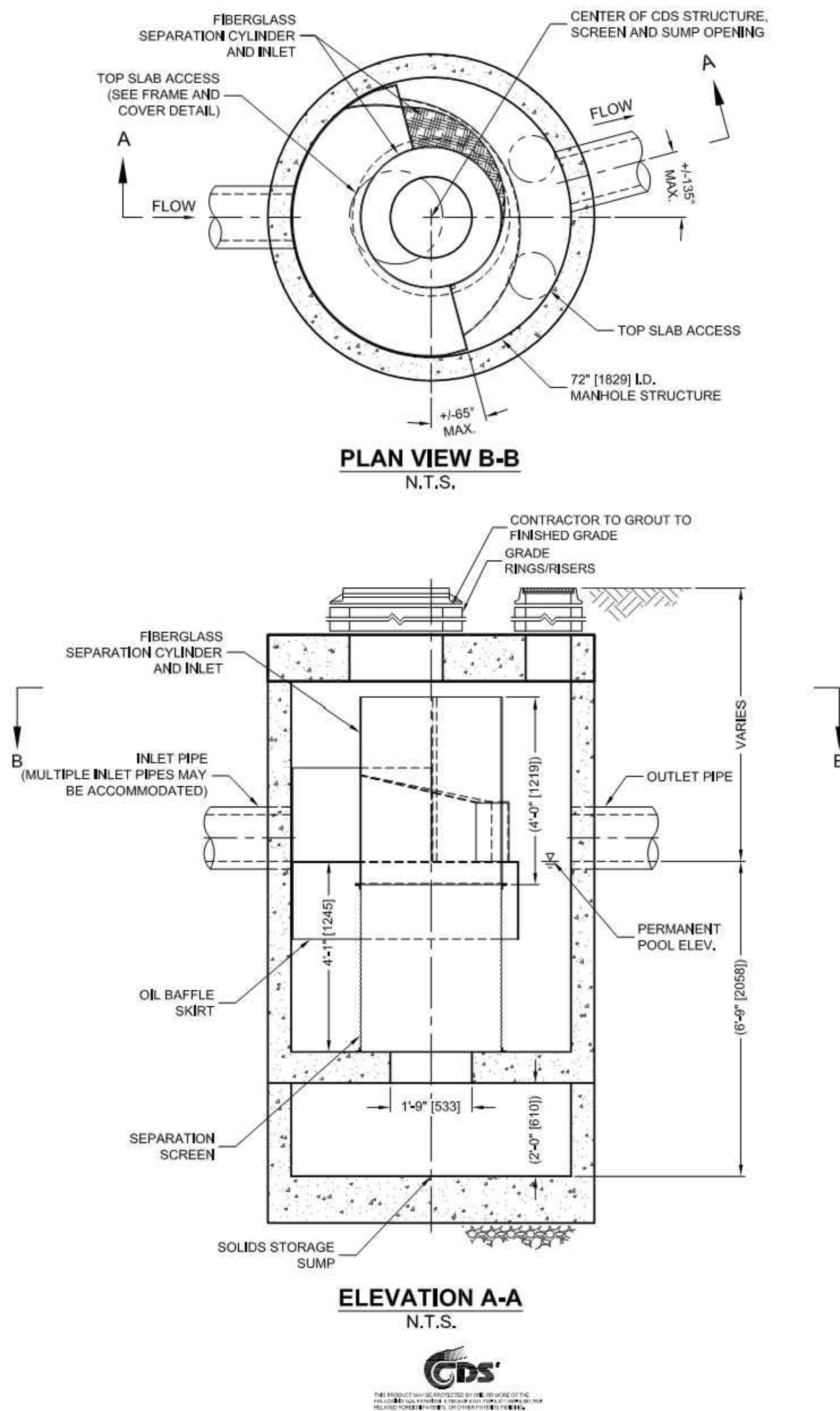
NOTES:

1. LANDSCAPE SHALL INCLUDE COMBINATION OF TREES AND SHRUBS TO CREATE A LANDSCAPE SCREEN FOR THE ENCLOSURE
2. ENCLOSURE SHALL BE 6' TALL MIN.
3. ENCLOSURE EXTERIOR FINISH SHALL MATCH THE EXTERIOR OF THE BUILDING FOR WHICH IT SUPPORTS.
4. LANDSCAPE DIMENSIONS SHOWN ARE MINIMUMS.
5. ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE, AS SUCH, CITY ENGINEER/CITY PLANNER SHALL HAVE THE ABILITY TO REVIEW AND RECOMMEND APPROPRIATE SIZE OF ENCLOSURE FOR SPECIFIC USE.
6. VARIANCE FROM THE REQUIREMENT OF AN ENCLOSURE CAN BE GRANTED BY THE LAND USE AUTHORITY FOR A GIVEN SITE IF IT CAN BE DEMONSTRATED THAT THE USE FOR THE SITE DOES NOT REQUIRE AN ENCLOSURE. CURB SIDE CURB SIDE PICK UP CONTAINER, CURB SIDE CONTAINER MUST BE AVAILABLE IN THAT AREA TO QUALIFY FOR THIS EXCEPTION.



PIPE SIZE (IN.)	CONDITION							
	I	II	III	IV	V	VI	VII	VIII
4	1.5	1.8	1	0.5	1.3	1.3	1.3	1.3
8	5	7.1	3.8	2	5	5	5	5
10	7.8	11.1	6	3	7.8	7.8	7.8	7.8
14	15.4	21.7	11.8	6	15.4	15.4	15.4	15.4





CDS3035-6-C DESIGN NOTES

CDS3035-6-C RATED TREATMENT CAPACITY IS 3.8 CFS [107.6 L/s], OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 20.0 CFS [566 L/s]. IF THE SITE CONDITIONS EXCEED 20.0 CFS [566 L/s], AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS3035-6-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

GRATED INLET ONLY (NO INLET PIPE)

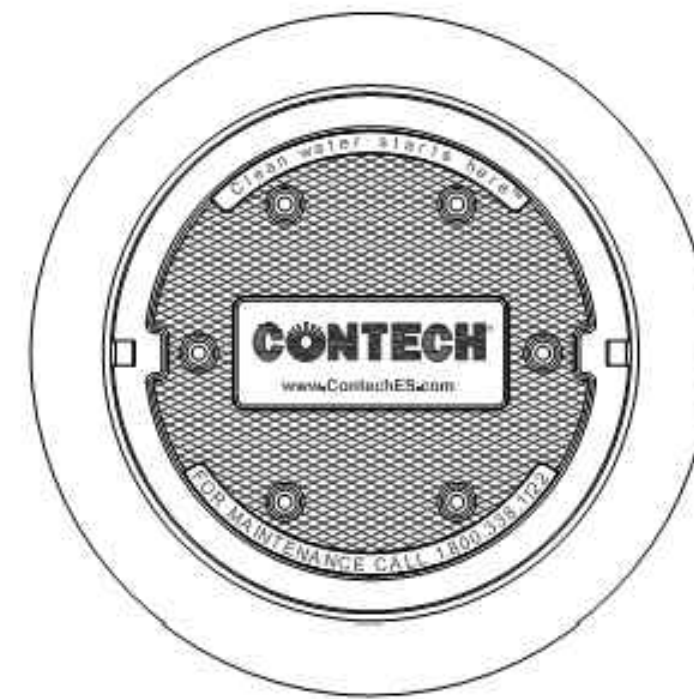
GRATED INLET WITH INLET PIPE OR PIPES

CURB INLET ONLY (NO INLET PIPE)

CURB INLET WITH INLET PIPE OR PIPES

SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)

SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)		*	
PEAK FLOW RATE (CFS OR L/s)		*	
RETURN PERIOD OF PEAK FLOW (YRS)		*	
SCREEN APERTURE (2400 OR 4700)		*	
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	*	*	*
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			*
ANTI-FLOTTATION BALLAST		WIDTH	HEIGHT
		*	*
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES

1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
4. ALL WATER QUALITY REQUIREMENTS SHALL BE IN CONFORMANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
6. PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

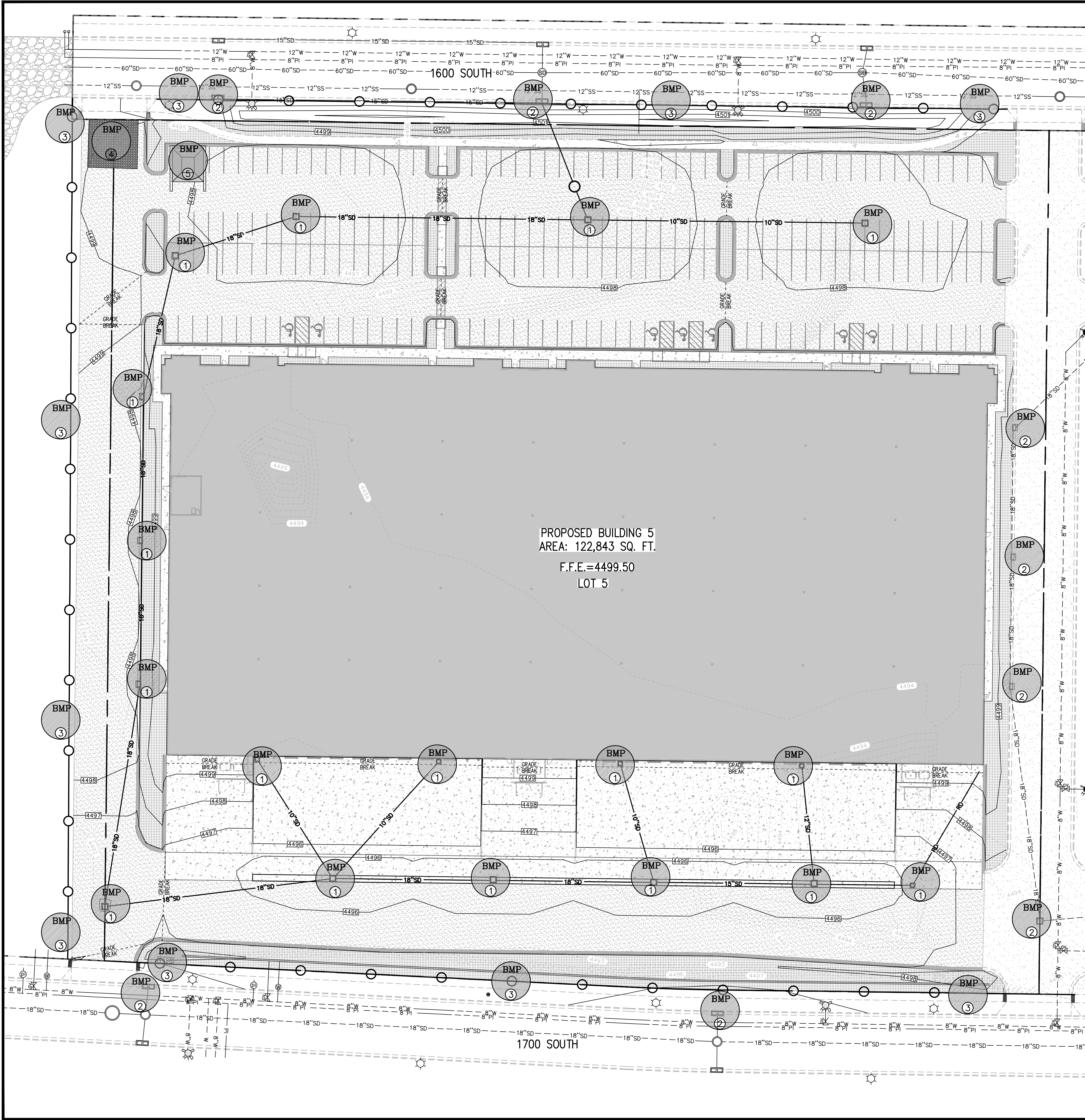
INSTALLATION NOTES

- A. ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- C. CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.



www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

CDS3035-6-C
 INLINE CDS
 STANDARD DETAIL



LEGEND

SILT FENCE ○

WHEEL WASH AREA [Pattern]

BMP AREA (X)

Scale in Feet: 0 30 60 90

SEE COVER SHEET FOR PROJECT LEGEND

- BMP CALLOUTS**
- 1. PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED. PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES.
NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN GUTTER AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.
 - 2. PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. *SEE NOTE IN CALLOUT 1.*
 - 3. INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.
 - 4. CONTRACTOR TO INSTALL A MINIMUM OF 6" DEEP GRAVEL (3" TO 6") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFSITE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
 - 5. CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.

DURING CONSTRUCTION

- 1. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (MINIMUM ONCE A WEEK) AND AFTER EVERY STORM EVENT
- 2. CONTRACTOR TO KEEP LAND DISTURBANCE TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
- 3. LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
- 4. STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
- 5. AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
- 6. MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS
- 7. CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
- 8. CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE MAY BE USED IF APPROVED BY CITY.
- 9. IF GROUND WATER IS ENCOUNTERED DURING THE CONSTRUCTION ACTIVITIES AND REQUIRES PUMPING OFF THE PROJECT, THE CONTRACTOR IS TO FILTER THE WATER THROUGH THE USE OF SAND BAGS AND/OR GEO FABRIC. THIS IS TO BE DONE PRIOR TO IT BEING INTRODUCED INTO THE PUBLIC STORM DRAIN SYSTEM.
- 10. A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

POST CONSTRUCTION

- 1. EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE
- 2. EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN ESTABLISHED
- 3. EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE
- 4. THE FOLLOWING PRECAUTIONS SHALL BE PERFORMED:
 - A) PERIODIC INSPECTION OF CATCH BASIN SEDIMENT TRAPS AND CLEANING WHEN THE BASIN IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GREASE OR OIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS
 - B) LITTER, DEBRIS AND CHEMICALS MUST BE PICKED UP AND KEPT IN A CONTAINED LOCATION TO PREVENT POLLUTION OF STORM WATER DISCHARGE
 - C) PARKING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS THAT COULD WASH INTO THE STORM DRAIN SYSTEM

CIVIL ENGINEERING + SURVEYING

C1R

10718 SOUTH BECKSTEAD LN, STE. 102
SOUTH JORDAN, Utah 84095 - 801-949-6296

Attachment: 02.08.22 - Roderick Catalyst Building 5 - site plan (Roderick Catalyst Business Park Building 5 site plan)

PROFESSIONAL ENGINEER

No. 12072623
TREVOR HODGSON
STATE OF UTAH

REVISIONS

NO	REVISIONS	DATE
1	COMMENTS	11/22/21
2	COMMENTS	07/09/22

PROJECT INFORMATION

PROJECT ID: R1034-01
PROJECT NAME: PRJ-RC5
DATE: 07/01/21
SCALE: 1"=30'

PROJECT INFORMATION

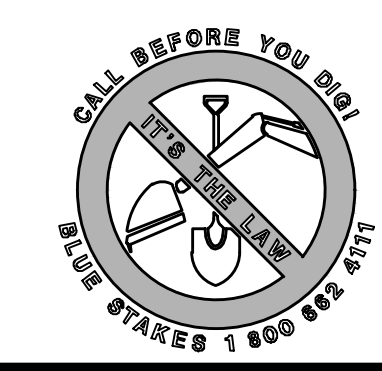
SHEET NO. C6.0

PROJECT ID: R1034-01
PROJECT NAME: PRJ-RC5
DATE: 07/01/21
SCALE: 1"=30'

PROJECT INFORMATION

SHEET NO. C6.0

PROJECT ID: R1034-01
PROJECT NAME: PRJ-RC5
DATE: 07/01/21
SCALE: 1"=30'



American Fork City Storm Water Management Program-2004American Fork City Storm Water Management Program-2004American Fork City Storm Water Management Program-2004American Fork City Storm Water Management Program-2004American Fork City Storm Water Management Program-2004American Fork City Storm Water Management Program-200461

EXTERIOR ELEVATION COLOR:

- = PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CLIFFSIDE GRAY); ELASTOMERIC, SMOOTH FINISH.
- = PAINTED CONCRETE TILT UP PANEL, SHERWIN WILLIAMS (CHARCOAL SLATE); ELASTOMERIC, SMOOTH FINISH.
- = GREYLITE III / SOLARBAN 60 (3) W/ REFLECTIVE COATING.
- = GREYLITE II w/ #3-820 HARMONY GRAY SPANDRAL (MONOLITHIC) W/ REFLECTIVE COATING.
- = KNOCK OUT PANEL FOR FUTURE, PAINT SIMILAR TO SURROUNDING PANEL.

GENERAL EXTERIOR FINISH NOTES:

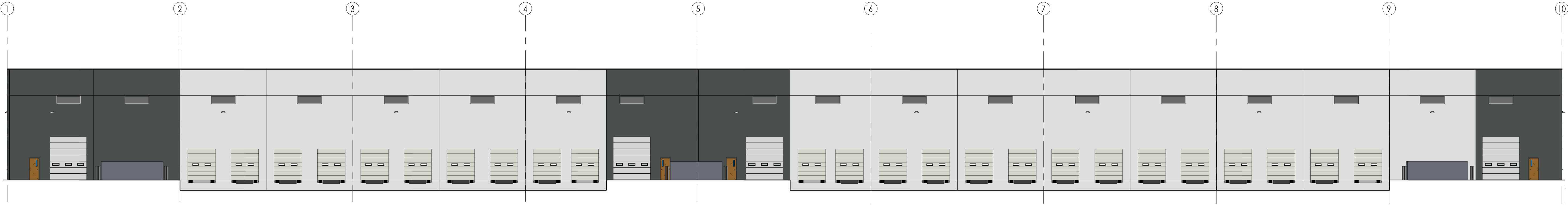
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A502 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.

FOR FUTURE TENANTS:

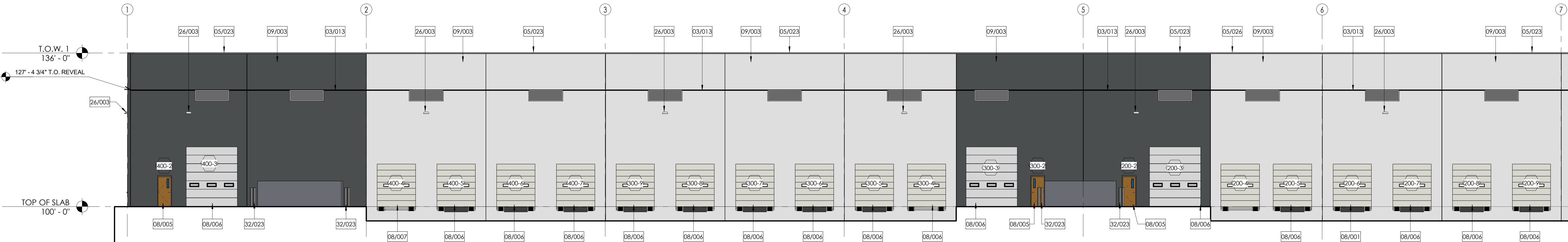
PROVIDE MOUNTING DETAILS FOR WALL-MOUNTED EXTERIOR SIGNS. ALL POLE-MOUNTED SIGNS AND MONUMENT SIGNS EXCEEDING 6 FT. TALL MUST BE ENGINEERED. AWNINGS THAT PROJECT 2FT OR MORE REQUIRE ENGINEERING CALCULATIONS.

KEYNOTE LEGEND

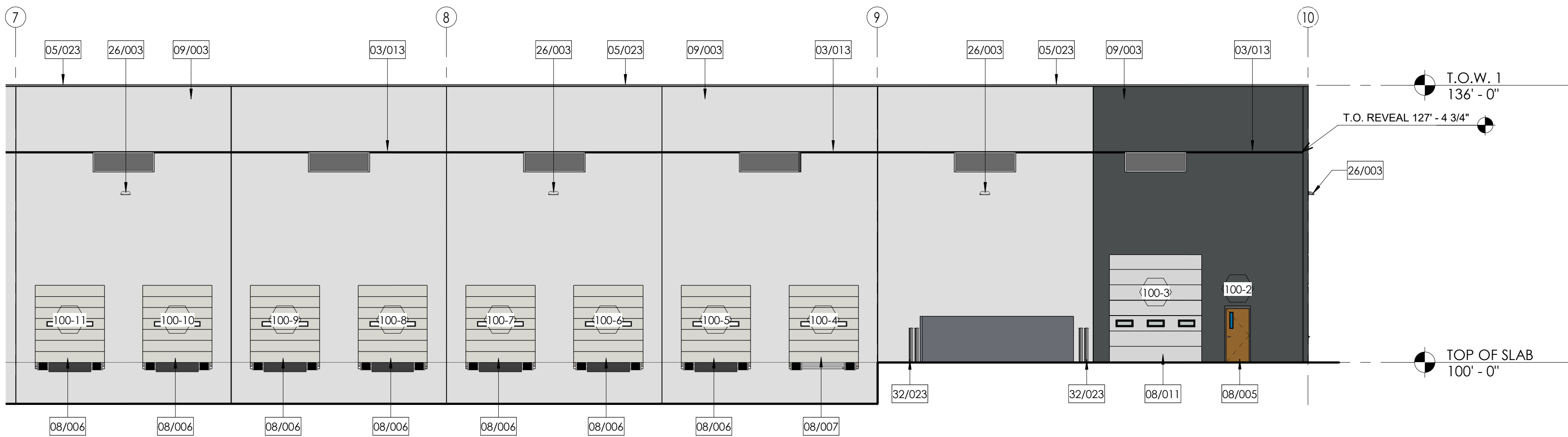
03/013	CONCRETE WALL REVEAL
05/023	METAL PARAPET WALL CAP
05/026	METAL PARAPET WALL CAP
08/001	STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
08/005	EXTERIOR MAIN DOOR
08/006	OVERHEAD GARAGE DOORS W, BUMPERS - SEE DOOR SCHEDULE
08/007	OVERHEAD GARAGE DOORS W/ EDGE OF DOCK LEVELERS & BUMPERS - SEE DOOR SCHEDULE
08/011	METAL OVERHEAD DOOR, SEE DOOR SCHEDULE
09/003	CONCRETE TILT UP PANEL PAINTED SHERWIN WILLIAMS - PROVIDE SUBMITTAL FOR APPROVAL
26/003	EXTERIOR WALL LIGHT FIXTURE, SEE ELECTRICAL
32/023	PIPE BOLLARD - SEE SHEET A104 FOR DETAILS AND PLACEMENT - SMOOTH BOLLARD SLEEVE 8x57" - YELLOW H-3717Y



3 SOUTH ELEVATION (Overall)
A201 N.T.S.



2 SOUTH ELEVATION ENLARGED (Left)
A201 3/32" = 1'-0"



1 SOUTH ELEVATION ENLARGED (Right)
A201 3/32" = 1'-0"

Revision Schedule	Revision Date
MARK	DESCRIPTION

AE2021.266

**SOUTH
ELEVATION**

DATE: 07/16/2021

SHEET #:

A201

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**AMERICAN FORK CITY
PLANNING COMMISSION**
MEETING DATE: January 19th, 2022
STAFF: Patrick O'Brien

AGENDA TOPIC: Hearing, review and action on a site plan for Roderick Catalyst Business Park Building 5 located in the area of 268 East 1600 South, in the PI-1 Planned Industrial zone

BACKGROUND INFORMATION				
Location:		268 East 1600 South		
Applicants:		Roderick Enterprises		
Existing Land Use:		Design Industrial		
Proposed Land Use:				
Surrounding Land Use:	North	Design Industrial		
	South	Design Industrial		
	East	Design Industrial		
	West	Design Industrial		
Existing Zoning:		PI-1		
Proposed Zoning:				
Surrounding Zoning:	North	PI-1		
	South	PI-1		
	East	PI-1		
	West	PI-1		
Land Use Plan Designation:		Design Industrial		
Zoning within Land Use Plan Designation?		X	Yes	No

Background

In 2015, this area was annexed into the City under the Catalyst Annexation. This site plan represents the fourth phase in a multi-phase office-warehouse development. Phase 4 consists of 1 office-warehouse structure, totaling 122,843 sq. ft. on approximately 7 acres. Access points into Phase 5 will be provided off 1600 South, and 1700 South.

Parking and landscaping are provided per the City's requirements. Landscape plans have been provided in the submittal materials. Renderings of the structures are also provided in the submittal materials.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Design Industrial”. The site plan is consistent with the Land Use Plan Designation.

FINDING OF FACT

After reviewing the application for site plan approval, the following finding of fact is offered for consideration:

1. The proposed site plan meets the criteria as found in Section 17.7.701 (Planned Industrial Projects) of the Development Code.

STAFF RECOMMENDATION:

Approval

POTENTIAL MOTIONS**APPROVAL**

Mr. Chairman, I move that we recommend approval of the commercial site plan for Roderick Catalyst Business Park, Phase 5, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the commercial site plan for Roderick Catalyst Business Park, Phase 5.

TABLE

Mr. Chairman, I move that we table action on the commercial site plan for Roderick Catalyst Business Park, Phase 5.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 1/19/2022

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Roderick Catalyst Business Park Building 5

Project Address: 268 East 1600 South

Developer / Applicant's Name: Roderick Enterprises

Type of Application:

- | | | |
|--|--|--------------------------------------|
| <input type="checkbox"/> Subdivision Final Plat | <input type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input checked="" type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Project Map:



Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development with the following conditions of approval:

Attachment: 02.08.22 - Roderick Catalyst Building 5 - staff report (Roderick Catalyst Business Park Building 5 site plan)

STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

UNAPPROVED MINUTES

3. Hearing, review and action on a site plan for Roderick Catalyst Business Park Building 5 located in the area of 268 East 1600 South, in the PI-1 Planned Industrial zone

Mr. O'Brien told commissioners that in 2015, this area was annexed into the City under the Catalyst Annexation. This site plan represents the fifth plat in a multi-phase office-warehouse development. Plat 5 consists of 1 office-warehouse structure, totaling 122,843 sq. ft. on approximately 7 acres. Access points into Plat 5 will be provided off 1600 South and 1700 South.

Parking and landscaping are provided per the City's requirements. Landscape plans have been provided in the submittal materials. Renderings of the structures are also provided in the submittal materials.

Mr. Hunter said that the applicants have met all requirements and the Engineering Division recommends approval.

Public Hearing Opened

No comments received.

Public Hearing Closed

Mr. Frandsen motioned to recommend approval of the commercial site plan for Roderick Catalyst Business Park, Plat 5, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

Ms. Peay seconded the motion. Voting was as follows:

Chairman Woffinden	Aye
Jenny Peay	Aye
Christine Anderson	Aye
Chris Christiansen	Aye
Bruce Frandsen	Aye
Harold Dudley	Aye

The motion passed.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
FEBRUARY 8, 2022**

Department Recorder **Director Approval** Terilyn Lurker

AGENDA ITEM Review and action on a resolution establishing the term end date for all city boards and/or committees.

SUMMARY RECOMMENDATION

Staff would recommend approval.

BACKGROUND

There are many boards and committees that have been established for American Fork City. The boards/committees have terms of appointment for the members serving. Unfortunately, it is not clear when their terms would end. This resolution would establish a uniform term end date for all boards and committees for the city.

BUDGET IMPACT

NA

SUGGESTED MOTION

Move to adopt the resolution establishing the term end date for all city boards and/or committees.

SUPPORTING DOCUMENTS

02.08.22 - Resolution for term ending dates for boards and committees (DOCX)

RESOLUTION NO. 2022-_____

A RESOLUTION ESTABLISHING THE TERM END DATE FOR MEMBERS ON ALL AMERICAN FORK CITY BOARDS AND/OR COMMITTEES; AND PROVIDING AN EFFECTIVE DATE HEREOF.

WHEREAS, American Fork City Council has created boards and committees to provide recommendation, oversight, and advice with regard to with various City functions;

WHEREAS, many of the boards and/or committees created by the City Council have established terms of appointment (term length), but do not clarify end dates for the respective terms;

WHEREAS, the City desires to establish a uniform term end date for members on all boards and committees created and recognized by the City.

NOW THEREFORE, BE IT RESOLVED by the City Council of American Fork, Utah as follows:

Members on all boards and/or committees created and recognized by American Fork City, including, but not limited to, those boards and committees identified below, shall have a term end date of January 31.

BOARDS AND COMMITTEES

- Beautification – Shade Tree Committee
- Audit Committee
- Board of Adjustment
- Cemetery Committee
- Golf Course Committee
- Historical Preservation Committee
- Library Board
- Metropolitan Water Board
- Neighborhood Preservation Committee
- Parks and Recreation Committee
- Senior Citizen Board
- Steel Days Committee
- Storm Water Advisory Board
- Water Management and Conservation Committee
- PARC Tax Committee

PASSED AND ADOPTED by the American Fork City Council this _____ day of
FEBRUARY, 2022

BRADLEY J. FROST, Mayor

TERILYN LURKER, City Recorder